



## BOARD OF WORKS SPECIAL MEETING

TUESDAY, APRIL 19, 2021 | 6:00 PM

### Pledge of Allegiance

On Monday April 19, 2021, at 6:00 pm. the special meeting of the Greensburg Board of Works was called to order. Participants were asked to please silence all electronic devices.

To comply with Title VI of the Civil Rights Act of 1964, the City requested that participants in this meeting complete a voluntary, anonymous survey that is available on the table in the back of the room.

**Present at roll call were, Rodney King, Glenn Tebbe, Karen D Rust, Jamie Cain was absent.**

### New Business

Robert Pate, DLZ presented change orders 8-9-10 for the renovation project at City Hall located at 314 E Washington.

Approved change orders have been attached as part of the permanent records for this meeting, according to the following motions, including that Mayor Josh Marsh will be the signer for each change orders.

Motion to approve change order number eight by Glenn Tebbe, seconded by Karen D Rust. Voice vote, all ayes. No nays. Motion passed.

Motion to approve change order number nine with a stipulation revised order is not to exceed \$56,000.00 by Karen D Rust, seconded by Glenn Tebbe. Voice vote, all ayes. No nays. Motion passed.

Motion to approve change order number ten by Rodney King, seconded by Glenn Tebbe. Voice vote, all ayes. No nays. Motion passed.

Rodney King made motion to adjourn, seconded by Karen D Rust. All ayes

**Adjourned 6:15pm**

Agenda and minutes can be found at [greensburg.in.gov](https://www.greensburg.in.gov)  
**Agenda is subject to change.**

"The City of Greensburg acknowledges its responsibility to comply with the Americans with Disabilities Act of 1990. In order to assist individuals with disabilities who require special services ( i.e. sign interpretive services, alternative audio/visual devices, and amanuenses) for participation in our access to City sponsored public programs, services, and/or meetings, the City requests that individuals make requests for these services seventy-two (72) hours ahead of the scheduled program, service and/or meeting. To make arrangements, contact Ron May, ADA Coordinator, at (812) 663-3344."





## Special Board of Works Signatures

This 19<sup>th</sup> of April 2021 at 6:00pm

Joshua Marsh *Joshua Marsh*

Jamie Cain \_\_\_\_\_ *A*

Glenn Tebbe *Glenn Tebbe*

Rodney King *Rodney A. King*

Karen Rust *Karen Rust*

Attested: *Brenda L Dwenger*  
Brenda L Dwenger

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**AIA**<sup>®</sup>**Document G701™ – 2017****Change Order**

<b>PROJECT:</b> <i>(Name and address)</i> Greensburg City Hall Renovation 314 West Washington Street, Greensburg Indiana 47240	<b>CONTRACT INFORMATION:</b> Contract For: General Construction Date: 12/07/2020	<b>CHANGE ORDER INFORMATION:</b> Change Order Number: 008 Date: 04/16/2021
<b>OWNER:</b> <i>(Name and address)</i> Joshua Marsh, Mayor  314 West Washington Street, Greensburg Indiana 47240	<b>ARCHITECT:</b> <i>(Name and address)</i> DLZ Indiana, LLC  138 N. Delaware St, Indianapolis, IN 46204	<b>CONTRACTOR:</b> <i>(Name and address)</i> Construction Planning and Management, Inc. (CPM) 10053 N. Hague Rd, Indianapolis, Indiana 46256

**THE CONTRACT IS CHANGED AS FOLLOWS:**

*(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)*

**Item No. 1 Assembly Room A162:**

- a) Remove existing counter and casework complete including elevated floor, step, ramp, and accessories, see attached documents. Owner has right of first refusal. Contractor to install new storefront and council desk at location provided in attached documents.
- b) Install new raised platform and ramp at location provided in attached documents.
- c) Install aluminum storefront casework and solid surface counter as shown on the attached drawings
- d) Install LED accent lighting, lighting control, pop up power receptacles and conduit as shown on the drawings.
- e) Install frosted glazing film on all glazing with two (2) City emblems as shown on the attached drawings.
- f) Relocate LED downlights as shown on the drawings.
- g) Install new dimensional mosaic accent wall on East wall as shown in attached drawings.
- h) Revise casework along north wall of Assembly Room A162 as shown in in attached drawings.

**Item No. 2 Clerk Treasurer Billing B115:**

- a) Remove existing Clerk Treasurer reception casework, counter and swing door complete, see attached documents.
- b) Install casework with solid surface counter and swing door as shown in attached drawings.

**Attachments:**

Change Order Request COR#002

The original Contract Sum was	\$ 3,855,200.00
The net change by previously authorized Change Orders	\$ 41,815.41
The Contract Sum prior to this Change Order was	\$ 3,897,015.41
The Contract Sum will be increased by this Change Order in the amount of	\$ 64,039.12
The new Contract Sum including this Change Order will be	\$ 3,961,054.53

The Contract Time will be increased by Zero (0) days.

The new date of Substantial Completion will be 7/31/2021

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

DLZ Indiana, LLC

Construction Planning and Management,  
Inc. (CPM)

Greensburg Board of Public Works

**ARCHITECT** *(Firm name)***CONTRACTOR** *(Firm name)***OWNER** *(Firm name)*



FRP B. Ratts

SIGNATURE

Eric B. Ratts, Principal Architect  
PRINTED NAME AND TITLE

4/16/2021  
DATE

SIGNATURE

PRINTED NAME AND TITLE

4/16/2021  
DATE

SIGNATURE

Joshua Marsh, Mayor  
PRINTED NAME AND TITLE

4/18/2021  
DATE





# Change Order Request

**COR#: 002**

~~**COR#: 007**~~

Project: GREENSBURG CITY HALL RENO  
314 WEST WASHINGTON STREET  
GREENSBURG, IN 47240

Job Number: 202022  
Status: PROPOSED  
Origination date: 04/09/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

<b>Total:</b>	<b>60,989.64</b>
<b>Mark-up:</b>	<b>3,049.48</b>
<b>Total Contractor Price for CR 007</b>	<b>64,039.12</b>

## Approvals

*Approval of this Change Order Request constitutes a change to the Contract and authorizes CPM CONSTRUCTION PLANNING & to begin work on the attached and referenced scope of work, for the above cost.*

Customer: GREENSBURG BRD OF PUBLIC WORKS

Contractor: CPM CONSTRUCTION PLANNING &

Authorized Representative: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Architect: DLZ Indiana, Inc. \_\_\_\_\_

Other: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_



## Connor Blaker

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**From:** williamandries50@gmail.com  
**Sent:** Wednesday, February 24, 2021 4:52 PM  
**To:** Connor Blaker  
**Subject:** Greensburg Changes PR002

The following is the cost for requested additions.

- ED2.4 CLERK TREASURER -REMOVE EXISTING POWER \$200
- E2.4 ASSEMBLY RM. POWER- NOTE INSTALL UNDER FLOOR RACEWAYS AND POWER \$980  
INSTALL POWER OUTLETS AND USB PORTS IN WIRE MOLD \$1330
- E2.5 ASSEMBLY COUNCIL LIGHTING AND ELECTRICAL CHANGES \$320
- E3.4 ASSEMBLY LIGHTING PLAN \$8780
- E3.5 ASSEMBLY LIGHTING ELEV A TYPE 2 MOCK UP OF FULL SCALE SHEET LIGHTING AS DIRECTED \$2400,  
KEYNOTES FOR ACCUAL INSTALL INCLUDE LIGHT PANELS, AMPS, CONTROLLERS AND POWER SUPPLYS  
\$4500
- E3.6 ASSEMBLY LIGHTING ELEV B TYPE 2 MOCK UP OF FULL SCALE SHEET LIGHTING AS DIRECTED \$2400  
KEYNOTES FOR ACCUAL INSTALL INCLUDE LIGHT PANELS,AMPS, CONTROLLERS AND POWER SUPPLYS  
\$4500
- E3.7 SAME AS TWO PREVIOUS ABOVE ELEV C MOCK UP \$2400 ACCUAL EQUIPMENT INSTALL \$4500
- E4.4 ASSEMBLY ROOM SYSTEM PLAN C  
INSTALL CAT 6 COMMUNICATION CABLES AND JACKS ROUTED TO NEW IDF RACK \$670

Thank you, Bill



## Brendan Moore

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**Subject:** FW: Greensburg Change Order Requests

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**From:** William Andries <[williamandries50@gmail.com](mailto:williamandries50@gmail.com)>

**Sent:** Friday, April 16, 2021 10:21 AM

**To:** Tyler Sizelove <[TSizelove@cpmconstruction.com](mailto:TSizelove@cpmconstruction.com)>

**Subject:** Re: Greensburg Change Order Requests

Tyler, please see our response.

Item 1. Credit \$750

Item 2. No change

Item 3. change to \$210

Item 4. change to \$4450

Item 5. No change

Item 6. change to \$325

Corresponds to items  
E3.5, E3.6, E3.7 above

William Andries  
317-557-2254



## Connor Blaker

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**From:** Connor Blaker  
**Sent:** Monday, February 22, 2021 4:10 PM  
**To:** Connor Blaker  
**Subject:** FW: Greensburg City Hall - Need for Pricing

**From:** Jeff Caudill <alphademolitioninc@gmail.com>  
**Sent:** Monday, February 1, 2021 10:01 AM  
**To:** Connor Blaker <CBlaker@cpmconstruction.com>  
**Subject:** Re: Greensburg City Hall - Need for Pricing

Conner please see below.

**Casework demolition \$680 (ASSEMBLY ROOM) + \$500 FOR DEMO OF CASEWORK IN THE CLERK TREASURER = TOTAL DEMO COST: \$1,180**

**Jeff Caudill**

**Project Manager**

New MAILING Address: PO Box 360, Harrison, OH 45030

New PHYSICAL Address: 257 Siefferman Rd, West Harrison, IN 47060

Former Address: 27560 Lawrenceville Road, Sunman, IN 47041

513.800.6928

[AlphaDemolInc.com](http://AlphaDemolInc.com)

On Mon, Feb 1, 2021 at 9:42 AM Connor Blaker <[CBlaker@cpmconstruction.com](mailto:CBlaker@cpmconstruction.com)> wrote:

Jeff,

Would you please send me a price to demo out the casework in the assembly room as shown in the attached picture. Do not proceed with demo on this as the architect told me that week that he would send out a pricing request this week, so I am requesting this just to stay in-front of the curve.

Also, I still haven't seen a credit amount for the flooring removal. Really need this by EOD today.

Thank you,



# Minnick Woodworking, LLC.

5310 Foundation Blvd.  
New Albany, IN. 47150

2-23-21

**PLEASE SEE THE ATTACHED BREAKOUT PER AREA ON  
THE FOLLOWING PAGES**

TO; Brendan Moore @ CPM Construction

## ESTIMATE

Project = PR- 002 Greensburg City Hall

**Scope of work = Assembly room A162 and Clerk B115**

New plastic laminate casework and solid surface countertops

## ESTIMATE PRICE

**\$13,364.41**

\* Estimate is Corian base colors only

\* Field Measure, Delivery and Installation



## **Minnick Woodworking, LLC**

5310 Foundation Blvd.

New Albany, IN. 47150

2-25-21

TO: Conner Blaker @ CPM Construction

### **ESTIMATE BREAKDOWN**

Project = PR-002 Assembly Room #162 and Clerk #B115

#### **Estimate Breakdown**

Assembly Room #A162 = \$4,957.73

Clerk #B115 = \$8,406.68



# **Minnick Woodworking, LLC**

5310 Foundation Blvd.

New Albany, IN. 47150

3-30-21

TO: Conner Blaker

## **Revised Estimate = PR-002**

**Assembly A162 and Clerk B115**

**Project: Assembly A126 = Mosaic Ash brown wood with trim to match**

**Estimate Price = \$1,977.72**

\* No Change was made to the cost of the Cabinets for toe kick change in height for ramp

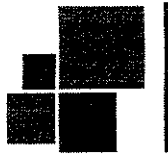
**Project: Clerk B115 = Veneer Panels to match existing wood**

**Estimate Price = \$2,515.50**

\* Clerk B115 price is to be added to the original estimate of \$8,406.68 on 2-25-21 breakdown

\* The cost of veneer was just added on top of the laminate price per LF





**KENNY  
GLASS**  
*Promises kept since 1945.*

5240 N. US 31  
Columbus, Indiana  
47201

Phone: 812-372-8834  
Fax: 812-372-8833

March 29, 2021

To: CPM Construction  
Attn: Brendan Moore

## Proposal

Re: Greensburg City Hall  
Scope : PR 002 Revised 3-24-21

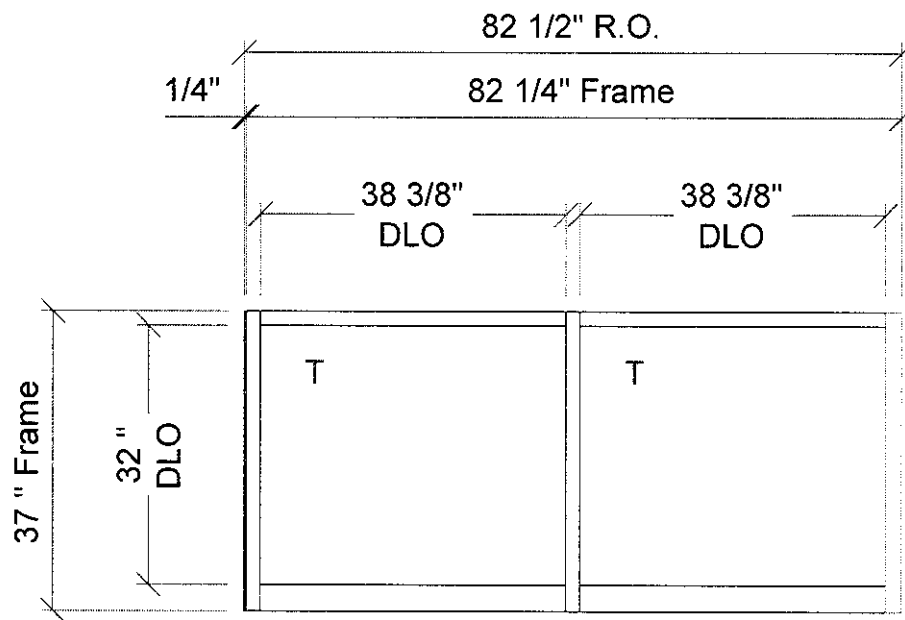
Section Title	Description of Proposed Materials
Aluminum Storefront & Entry Doors	Tubelite Aluminum storefront per G 5.2 R for A162 Assembly room. 1 ¾ Clear Anodized materials
Hardware	
Glazing	¾ inch Tempered Frosted Glass. PDF file must be provided for Greensburg Emblem on Glass., any associated artwork required is NOT included.
Caulking	Surrounding our scope of work only
Payment Terms	
Exclusions	Opening preparation and final cleaning.

Price Installed: \$6058.00

This quote does not include sales tax and is good for 60 days.  
Thank you for the opportunity

  
Kevin Tracy

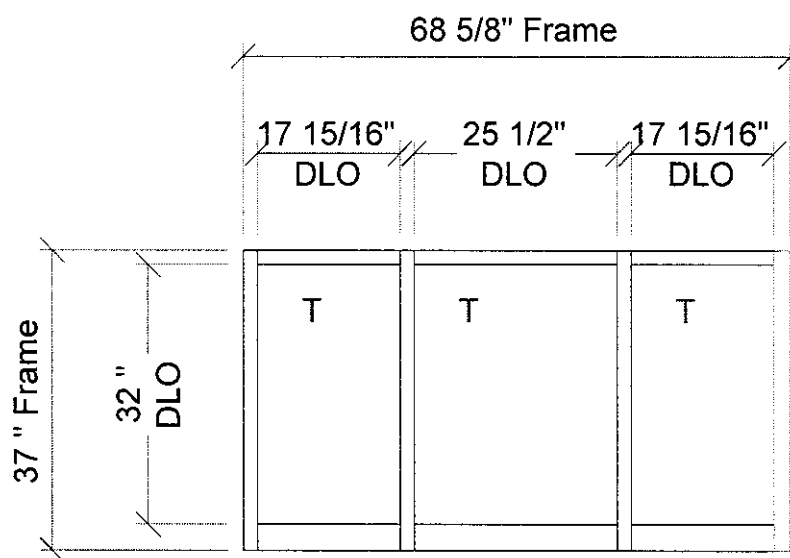




Greensburg City Hall - 1 - 001 - ASSEMBLY ROOM (2  
Thus)

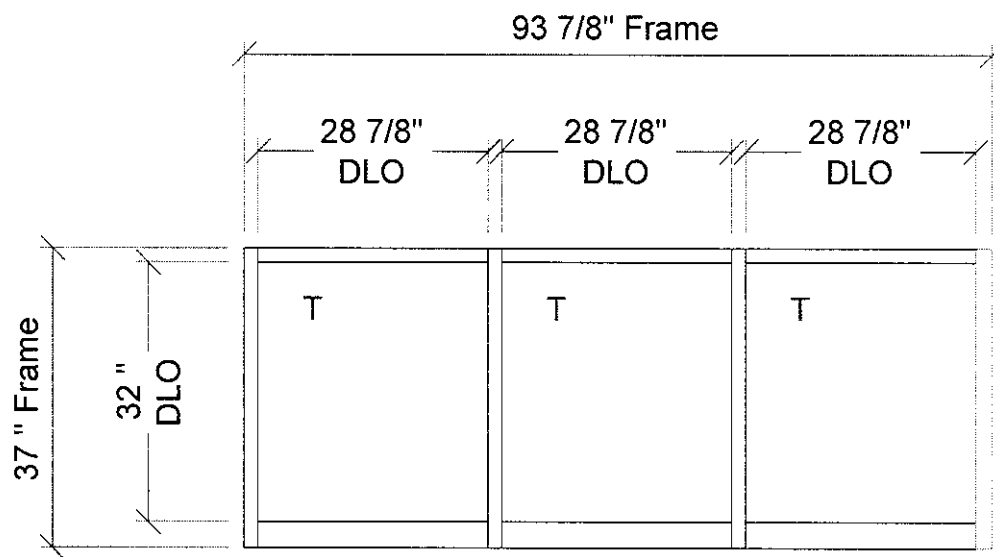
Frame: (Clear) YES 45 FS : Storefront : Screw Spline  
Interior / No Pan (UPDATED 8/30/10)





Greensburg City Hall - 2 - 002 - B ELEV (2 Thus)  
 Frame: (Clear) YES 45 FS : Storefront : Screw Spline  
 Interior / No Pan (UPDATED 8/30/10)





Greensburg City Hall - 3 - 003 - C ELEV (1 Thus)  
 Frame: (Clear) YES 45 FS : Storefront : Screw Spline Interior / No  
 Pan (UPDATED 8/30/10)



**PARKER DRYWALL, INC.**

**6409 S 250 E WALDRON, IN. 46182**

**1-800-439-2588**

4/8/2021

To: CPM, Inc.

Re: Framing Bid

PR-2 Item No. 1B: GREENSBURG CITY HALL ASSEMBLY ROOM A162

Scope of Work: Raise Platform

1. Build new platform with 16" O.C. 6" 16GA framing material on designated floor area
2. Install 2 layers of 3/4" Fire Rated Plywood on top of framed area
3. Place all scrap material and debris in dumpsters supplied by General Contractor

All Labor and Material- 7,240.00

Total PR-2 \$ 7,240.00

Thanks,

Dave Parker

*\* To use 3/4" ply wood in lieu of fire rated - deduct \$800 from the price*

*\$7,240  
- 800*

*\$6,440 Total*





**MASTER CARPET & TILE INC.**

**FAX (317) 356-2260**

**420 RAWLES COURT • INDIANAPOLIS, IN 46229 • TELEPHONE (317) 352-1581**

**TO: Estimating**  
**FROM: Corbin Livingston**

**DATE: 4/8/2021**

**WE PROPOSE A BID FOR THE FOLLOWING**

**PROJECT: Greensburg Town Hall PR002**

**THIS IS A COMBINED BID: x      INDIVIDUAL BID:**

Add labor and material for nosing and side of platform LVT for newly built raised platform.

**ADD: \$500.00**

**I HAVE SEEN ADDENDUMS:**

**EXCLUSIONS: NO MAJOR PREP, NO WAXING OF VINYL TILE, NO DEMOLITION, NO SEALING OF CERAMIC TILE, NO BACKERBOARD, NO WALK-OFF MAT SYSTEMS (METAL OR ANCHORED) NO CAULKING**

**THIS PRICE IS A NON UNION BID**

**SIGNED: *Corbin Livingston***





# AIA<sup>®</sup> Document G709<sup>™</sup> – 2018

## Proposal Request

<b>PROJECT:</b> <i>(name and address)</i>	<b>CONTRACT INFORMATION:</b>	Architect's Project Number: 2063-1044-90
Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	Contract For: General Construction Date: 12/07/2020	Proposal Request Number: 002 (R) Proposal Request Date: 03/31/2021
<b>OWNER:</b> <i>(name and address)</i>	<b>ARCHITECT:</b> <i>(name and address)</i>	<b>CONTRACTOR:</b> <i>(name and address)</i>
Joshua Marsh, Mayor 314 West Washington Street, Greensburg, Indiana 47240	DLZ Indiana, LLC 138 N. Delaware St, Indianapolis, IN 46204	CPM Construction 10053 N. Hague Rd, Indianapolis, Indiana 46256

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Seven (7) days or notify the Architect in writing of the anticipated date of submission.

*(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)*

Contractor shall provide a cost for the items below:

Item No. 1 Assembly Room A162:

- a) Remove existing counter and casework complete including elevated floor, step, ramp, and accessories, see attached documents. Owner has right of first refusal. Contractor to install new storefront and council desk at location provided in attached documents.
- b) Install new raised platform and ramp at location provided in attached documents.
- c) Install aluminum storefront casework and solid surface counter as shown on the attached drawings
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- f) Relocate LED downlights as shown on the drawings.
- g) Install new dimensional mosaic accent wall on East wall as shown in attached drawings.
- h) Revise casework along north wall of Assembly Room A162 as shown in in attached drawings.

Item No. 2 Clerk Treasurer Billing B115:

- a) Remove existing Clerk Treasurer reception casework, counter and swing door complete, see attached documents.
- b) Install casework with solid surface counter and swing door as shown in attached drawings.

Attachments:

SPECIFICATION SECTION - 054000 - COLD FORMED METAL FRAMING

- G5.1 (R) - ASSEMBLY ROOM COUNCIL REMOVAL PLAN
- G5.2 (R) - ASSEMBLY ROOM COUNCIL PLAN
- G5.3 (R) - ASSEMBLY ROOM RAISED PLATFORM
- G5.4 (R) - ASSEMBLY ROOM COUNCIL DESK ENLARGED PLAN
- G5.5 (R) - ASSEMBLY ROOM COUNCIL DESK ELEVATIONS
- G5.6 (R) - ASSEMBLY ROOM ELEVATION
- G5.7 (R) - ASSEMBLY ROOM ELEVATION
- G5.8 (R) - ASSEMBLY ROOM COUNCIL DESK SECTION
- G5.9 (R) - CLERK TREASURER COUNTER REMOVAL PLAN
- G5.10 (R) - CLERK TREASURER COUNTER PLAN
- G5.11 (R) - CLERK TREASURER COUNTER ELEVATIONS
- G5.12 (R) - CLERK TREASURER COUNTER ELEVATIONS
- G5.13 (R) - CLERK TREASURER COUNTER SECTIONS



ED2.4 (R) - CLERK TREASURER BILLING REMOVAL PLAN  
E2.4 (R) - ASSEMBLY ROOM COUNCIL POWER PLAN  
E2.5 (R) - CLERK TREASURER BILLING POWER PLAN  
E3.4 (R) - ASSEMBLY ROOM COUNCIL LIGHTING PLAN  
E3.5 (R) - ASSEMBLY ROOM COUNTER LIGHTING - ELEVATION A (TYP.2)  
E3.6 (R) - ASSEMBLY ROOM COUNTER LIGHTING - ELEVATION B (TYP.2)  
E3.7 (R) - ASSEMBLY ROOM COUNTER LIGHTING - ELEVATION C  
E4.4 (R) - ASSEMBLY ROOM COUNCIL SYSTEMS PLAN  
E4.5 (R) - CLERK TREASURER BILLING SYSTEMS PLAN  
E6.3 (R) - LIGHT FIXTURE SCHEDULE

**THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.**

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**REQUESTED BY THE ARCHITECT:**

Eric B. Ratts, Principal Architect

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**PRINTED NAME AND TITLE**



## SECTION 054000 - COLD-FORMED METAL FRAMING

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section Includes:
  - 1. Miscellaneous framing.
- B. Related Requirements:
  - 1. Section 055000 "Metal Fabrications" for miscellaneous steel shapes, masonry shelf angles, and connections used with cold-formed metal framing.
  - 2. Section 092216 "Non-Structural Metal Framing" for standard, interior non-load-bearing, metal-stud framing, with height limitations and ceiling-suspension assemblies.

#### 1.3 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.

#### 1.4 ACTION SUBMITTALS

- A. Product Data: For each type of steel framing product and accessory.
- B. Shop Drawings:
  - 1. Include layout, spacings, sizes, thicknesses, and types of cold-formed steel framing; fabrication; and fastening and anchorage details, including mechanical fasteners.
  - 2. Indicate reinforcing channels, opening framing, supplemental framing, strapping, bracing, bridging, splices, accessories, connection details, and attachment to adjoining work.
- C. Delegated-Design Submittal: For cold-formed steel framing.

#### 1.5 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For testing agency.



- B. Welding certificates.
- C. Product Certificates: For each type of code-compliance certification for studs and tracks.
- D. Research Reports:
  - 1. For nonstandard cold-formed steel framing, from ICC-ES or other qualified testing agency acceptable to authorities having jurisdiction.

#### 1.6 QUALITY ASSURANCE

- A. Testing Agency Qualifications: Qualified according to ASTM E329 for testing indicated.
- B. Product Tests: Mill certificates or data from a qualified independent testing agency, or in-house testing with calibrated test equipment, indicating steel sheet complies with requirements, including base-metal thickness, yield strength, tensile strength, total elongation, chemical requirements, and metallic-coating thickness.
- C. Welding Qualifications: Qualify procedures and personnel according to the following:
  - 1. AWS D1.1/D1.1M, "Structural Welding Code - Steel."
  - 2. AWS D1.3/D1.3M, "Structural Welding Code - Sheet Steel."

#### 1.7 DELIVERY, STORAGE, AND HANDLING

- A. Protect cold-formed steel framing from corrosion, moisture staining, deformation, and other damage during delivery, storage, and handling.
- B. Store cold-formed steel framing, protect with a waterproof covering, and ventilate to avoid condensation.

### PART 2 - PRODUCTS

#### 2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
  - 1. ClarkDietrich.
  - 2. MarinoWARE.
  - 3. Nuconsteel, A Nucor Company.
  - 4. The Steel Network, Inc.



## 2.2 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Engage a qualified professional engineer, as defined in Section 014000 "Quality Requirements," to design cold-formed steel framing.
- B. Structural Performance: Provide cold-formed steel framing capable of withstanding design loads within limits and under conditions indicated.
  - 1. Design Loads: As required to meet Building Code requirements with the Design Criteria indicated on Sheet S0.1, as specified herein and required to meet project construction documents.
  - 2. Design framing system to maintain clearances at openings, to allow for construction tolerances, and to accommodate live load deflection of primary building structure as follows:
    - a. Upward and downward movement of 1-1/2 inches.
- C. Cold-Formed Steel Framing Standards: Unless more stringent requirements are indicated, framing shall comply with AISI S100, AISI S200, and the following:
  - 1. Wall Studs: AISI S211.
  - 2. Headers: AISI S212.
  - 3. Lateral Design: AISI S213.

## 2.3 COLD-FORMED STEEL FRAMING MATERIALS

- A. Steel Sheet: ASTM A1003/A1003M, Structural Grade, Type H, metallic coated, of grade and coating designation as follows:
  - 1. Grade: As required by structural performance determined by delegated designer.
  - 2. Coating: G60, A60, AZ50, or GF30.
- B. Steel Sheet for Vertical Deflection or Drift Clips: ASTM A653/A653M, structural steel, zinc coated, of grade and coating as follows:
  - 1. Grade: As required by structural performance.
  - 2. Coating: G60.

## 2.4 NON-LOAD-BEARING WALL AND FLOOR FRAMING

- A. Steel Studs: Manufacturer's standard C-shaped steel studs, of web depths indicated, punched, with stiffened flanges, and as follows:
  - 1. Minimum Base-Metal Thickness: 54 mils.
  - 2. Flange Width: 2 inches.



- B. Steel Track: Manufacturer's standard U-shaped steel track, of web depths indicated, unpunched, with unstiffened flanges, and as follows:
  - 1. Minimum Base-Metal Thickness: Matching steel studs.
  - 2. Flange Width: 1-1/4 inches.
- C. Vertical Deflection Clips: Manufacturer's standard bypass or head clips, capable of accommodating upward and downward vertical displacement of primary structure through positive mechanical attachment to stud web.
- D. Double Deflection Tracks: Manufacturer's double, deep-leg, U-shaped steel tracks, consisting of nested inner and outer tracks; unpunched, with unstiffened flanges.
  - 1. Outer Track: Of web depth to allow free vertical movement of inner track, with flanges designed to support horizontal loads and transfer them to the primary structure, and as follows:
    - a. Minimum Base-Metal Thickness: 43 mils.
    - b. Flange Width: 1 inch plus the design gap for one-story structures.
  - 2. Inner Track: Of web depth indicated, and as follows:
    - a. Minimum Base-Metal Thickness: 43 mils.
    - b. Flange Width: outer deflection track flange width plus 1 inch.
- E. Drift Clips: Manufacturer's standard bypass or head clips, capable of isolating wall stud from upward and downward vertical displacement and lateral drift of primary structure through positive mechanical attachment to stud web and structure.

## 2.5 FRAMING ACCESSORIES

- A. Fabricate steel-framing accessories from ASTM A1003/A1003M, Structural Grade, Type H, metallic coated steel sheet, of same grade and coating designation used for framing members.
- B. Provide accessories of manufacturer's standard thickness and configuration, unless otherwise indicated, as follows:
  - 1. Supplementary framing.
  - 2. Bracing, bridging, and solid blocking.
  - 3. Web stiffeners.
  - 4. Anchor clips.
  - 5. End clips.
  - 6. Foundation clips.
  - 7. Gusset plates.
  - 8. Stud kickers and knee braces.
  - 9. Joist hangers and end closures.
  - 10. Hole-reinforcing plates.
  - 11. Backer plates.



## 2.6 ANCHORS, CLIPS, AND FASTENERS

- A. Steel Shapes and Clips: ASTM A36/A36M, zinc coated by hot-dip process according to ASTM A123/A123M.
- B. Anchor Bolts: ASTM F1554, Grade 36, threaded carbon-steel carbon-steel nuts, and flat, hardened-steel washers; zinc coated by mechanically deposition according to ASTM B695, Class 50.
- C. Post-Installed Anchors: Fastener systems with bolts of same basic metal as fastened metal, if visible, unless otherwise indicated; with working capacity greater than or equal to the design load, according to an evaluation report acceptable to authorities having jurisdiction, based on ICC-ES AC193 as appropriate for the substrate.
  - 1. Uses: Securing cold-formed steel framing to structure.
  - 2. Type: Torque-controlled expansion anchor.
- D. Mechanical Fasteners: ASTM C1513, corrosion-resistant-coated, self-drilling, self-tapping, steel drill screws.
  - 1. Head Type: Low-profile head beneath sheathing; manufacturer's standard elsewhere.
- E. Welding Electrodes: Comply with AWS standards.

## 2.7 MISCELLANEOUS MATERIALS

- A. Galvanizing Repair Paint: ASTM A780/A780M.
- B. Cement Grout: Portland cement, ASTM C150/C150M, Type I; and clean, natural sand, ASTM C404. Mix at ratio of 1 part cement to 2-1/2 parts sand, by volume, with minimum water required for placement and hydration.
- C. Nonmetallic, Nonshrink Grout: Factory-packaged, nonmetallic, noncorrosive, nonstaining grout, complying with ASTM C1107/C1107M, and with a fluid consistency and 30-minute working time.
- D. Shims: Load-bearing, high-density, multimonomer, nonleaching plastic; or cold-formed steel of same grade and metallic coating as framing members supported by shims.
- E. Sill Sealer Gasket: Closed-cell neoprene foam, 1/4 inch thick, selected from manufacturer's standard widths to match width of bottom track or rim track members as required.

## 2.8 FABRICATION

- A. Fabricate cold-formed steel framing and accessories plumb, square, and true to line, and with connections securely fastened, according to referenced AISI's specifications and standards, manufacturer's written instructions, and requirements in this Section.



1. Fabricate framing assemblies using jigs or templates.
  2. Cut framing members by sawing or shearing; do not torch cut.
  3. Fasten cold-formed steel framing members by welding, screw fastening, clinch fastening, pneumatic pin fastening, or riveting as standard with fabricator. Wire tying of framing members is not permitted.
    - a. Comply with AWS D1.3/D1.3M requirements and procedures for welding, appearance and quality of welds, and methods used in correcting welding work.
    - b. Locate mechanical fasteners and install according to Shop Drawings, with screws penetrating joined members by no fewer than three exposed screw threads.
  4. Fasten other materials to cold-formed steel framing by welding, bolting, pneumatic pin fastening, or screw fastening, according to Shop Drawings.
- B. Reinforce, stiffen, and brace framing assemblies to withstand handling, delivery, and erection stresses. Lift fabricated assemblies by means that prevent damage or permanent distortion.
- C. Tolerances: Fabricate assemblies level, plumb, and true to line to a maximum allowable variation of 1/8 inch in 10 feet and as follows:
1. Spacing: Space individual framing members no more than plus or minus 1/8 inch from plan location. Cumulative error shall not exceed minimum fastening requirements of sheathing or other finishing materials.
  2. Squareness: Fabricate each cold-formed steel framing assembly to a maximum out-of-square tolerance of 1/8 inch.

### PART 3 - EXECUTION

#### 3.1 EXAMINATION

- A. Examine substrates, areas, conditions, and abutting structural framing for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

#### 3.2 PREPARATION

- A. Before sprayed fire-resistive materials are applied, attach continuous angles, supplementary framing, or tracks to structural members indicated to receive sprayed fire-resistive materials.
- B. After applying sprayed fire-resistive materials, remove only as much of these materials as needed to complete installation of cold-formed framing without reducing thickness of fire-resistive materials below that required to obtain fire-resistance ratings indicated. Protect remaining fire-resistive materials from damage.



- C. Install sill sealer gasket at the underside of wall bottom track or rim track and at the top of foundation wall or slab at stud or joist locations.

### 3.3 INSTALLATION, GENERAL

- A. Cold-formed steel framing may be shop or field fabricated for installation, or it may be field assembled.
- B. Install cold-formed steel framing according to AISI S200, AISI S202, and manufacturer's written instructions unless more stringent requirements are indicated.
- C. Install shop- or field-fabricated, cold-formed framing and securely anchor to supporting structure.
  - 1. Screw, bolt, or weld wall panels at horizontal and vertical junctures to produce flush, even, true-to-line joints with maximum variation in plane and true position between fabricated panels not exceeding 1/16 inch.
- D. Install cold-formed steel framing and accessories plumb, square, and true to line, and with connections securely fastened.
  - 1. Cut framing members by sawing or shearing; do not torch cut.
  - 2. Fasten cold-formed steel framing members by welding, screw fastening, clinch fastening, or riveting. Wire tying of framing members is not permitted.
    - a. Comply with AWS D1.3/D1.3M requirements and procedures for welding, appearance and quality of welds, and methods used in correcting welding work.
    - b. Locate mechanical fasteners, install according to Shop Drawings, and comply with requirements for spacing, edge distances, and screw penetration.
- E. Install framing members in one-piece lengths unless splice connections are indicated for track or tension members.
- F. Install temporary bracing and supports to secure framing and support loads equal to those for which structure was designed. Maintain braces and supports in place, undisturbed, until entire integrated supporting structure has been completed and permanent connections to framing are secured.
- G. Do not bridge building expansion joints with cold-formed steel framing. Independently frame both sides of joints.
- H. Install insulation, specified in Section 072100 "Thermal Insulation," in framing-assembly members, such as headers, sills, boxed joists, and multiple studs at openings, that are inaccessible on completion of framing work.
- I. Fasten hole-reinforcing plate over web penetrations that exceed size of manufacturer's approved or standard punched openings.



### 3.4 INSTALLATION OF NON-LOAD BEARING WALL AND FLOOR FRAMING

- A. Install continuous tracks sized to match studs. Align tracks accurately and securely anchor to supporting structure.
- B. Fasten both flanges of studs to bottom track unless otherwise indicated. Space studs as follows:
  - 1. Stud Spacing: 16 inches.
- C. Set studs plumb, except as needed for diagonal bracing or required for nonplumb walls or warped surfaces and similar requirements.
- D. Isolate non-load-bearing steel framing from building structure to prevent transfer of vertical loads while providing lateral support.
  - 1. Install double deep-leg deflection tracks and anchor outer track to building structure.
  - 2. Connect vertical deflection clips to studs and anchor to building structure.
  - 3. Connect drift clips to cold-formed steel framing and anchor to building structure.
- E. Install horizontal bridging in wall studs, spaced vertically in rows indicated on Shop Drawings but not more than 48 inches apart. Fasten at each stud intersection.
  - 1. Bar Bridging: Proprietary bridging bars installed according to manufacturer's written instructions.
- F. Install miscellaneous framing and connections, including stud kickers, web stiffeners, clip angles, continuous angles, anchors, and fasteners, to provide a complete and stable wall-framing system.

### 3.5 INSTALLATION TOLERANCES

- A. Install cold-formed steel framing level, plumb, and true to line to a maximum allowable tolerance variation of 1/8 inch in 10 feet and as follows:
  - 1. Space individual framing members no more than plus or minus 1/8 inch from plan location. Cumulative error shall not exceed minimum fastening requirements of sheathing or other finishing materials.

### 3.6 REPAIR

- A. Galvanizing Repairs: Prepare and repair damaged galvanized coatings on fabricated and installed cold-formed steel framing with galvanized repair paint according to ASTM A780/A780M and manufacturer's written instructions.



3.7 FIELD QUALITY CONTROL

- A. Testing: Engage a qualified independent testing and inspecting agency to perform field tests and inspections and prepare test reports.
- B. Field and shop welds will be subject to testing and inspecting.
- C. Testing agency will report test results promptly and in writing to Contractor and Architect.
- D. Cold-formed steel framing will be considered defective if it does not pass tests and inspections.
- E. Additional testing and inspecting, at Contractor's expense, will be performed to determine compliance of replaced or additional work with specified requirements.

3.8 PROTECTION

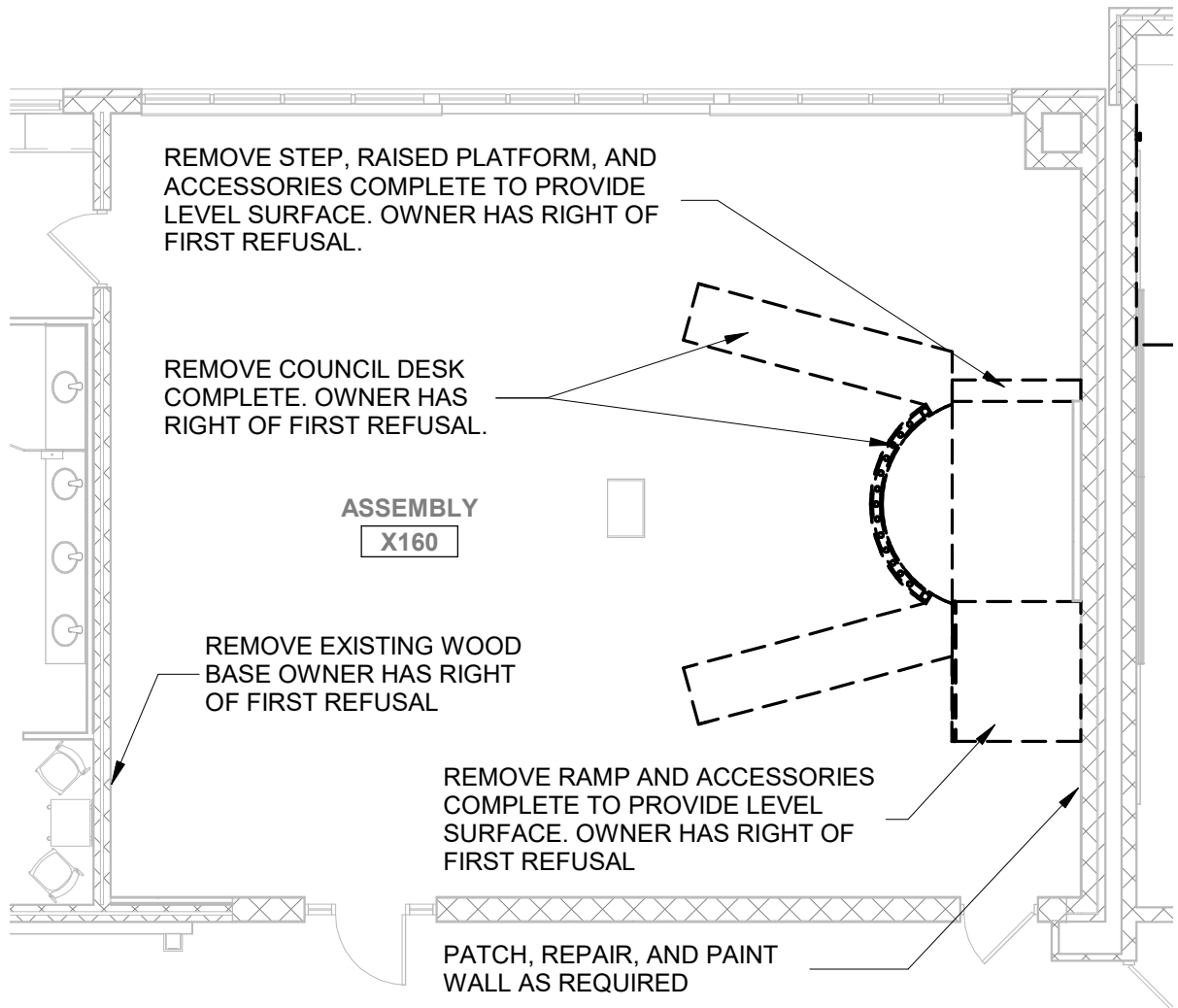
- A. Provide final protection and maintain conditions, in a manner acceptable to manufacturer and Installer, that ensure that cold-formed steel framing is without damage or deterioration at time of Substantial Completion.

END OF SECTION 054000



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1

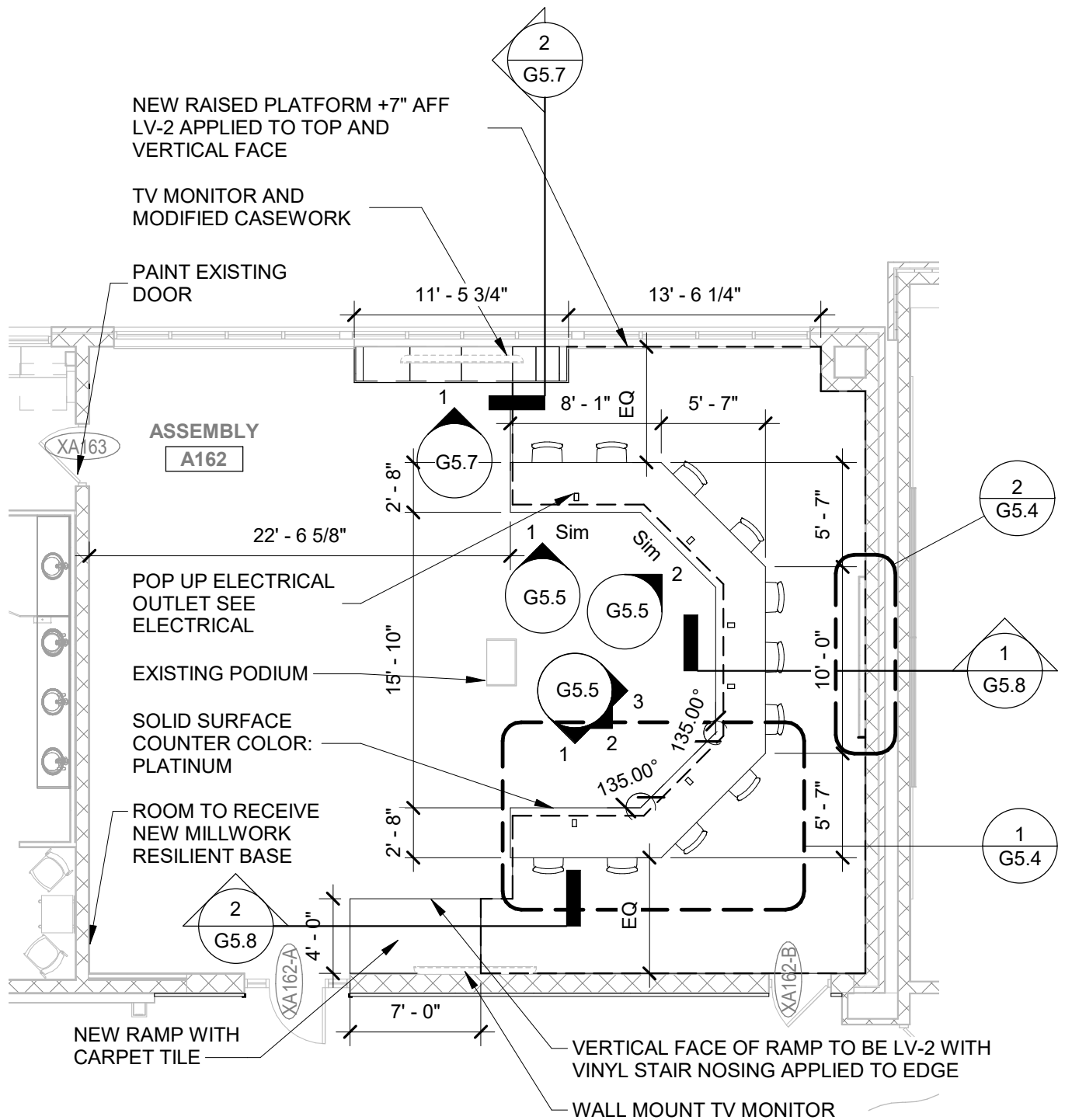
## ASSEMBLY ROOM REMOVAL PLAN

SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS


 <b>DLZ</b> <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			G5.1 (R)
	ASSEMBLY ROOM COUNCIL REMOVAL PLAN	PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL





**1 FIRST FLOOR ASSEMBLY**  
SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS

 ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL  ASSEMBLY ROOM COUNCIL PLAN	REMARKS:	SKETCH NUMBER
			G5.2 (R)
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL



1

## ASSEMBLY RAISED PLATFORM

SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS



Select DLZ Company

# RENOVATION OF THE GREENSBURG CITY HALL

## ASSEMBLY ROOM RAISED PLATFORM

REMARKS:

SKETCH NUMBER

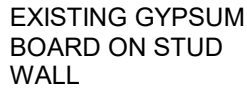
### G5.3 (R)

PROJECT NO:2063-1044-90

DATE: 03/31/2021

## GENERAL

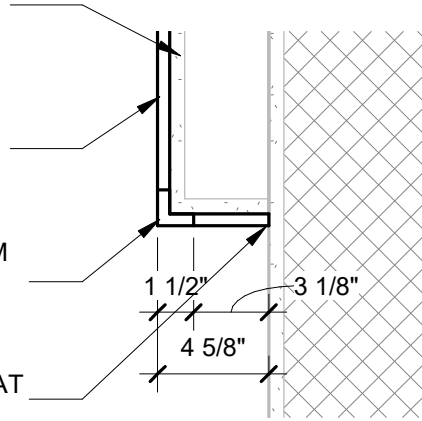




NEW 6" X 24" ASH  
BROWN WOOD  
MOSAIC #1033886

NEW 1/2" X 1 1/2" TRIM  
STAINED TO MATCH  
ADJACENT WOOD

CUT EDGE SMOOTH AT  
WALL TRANSITIONS

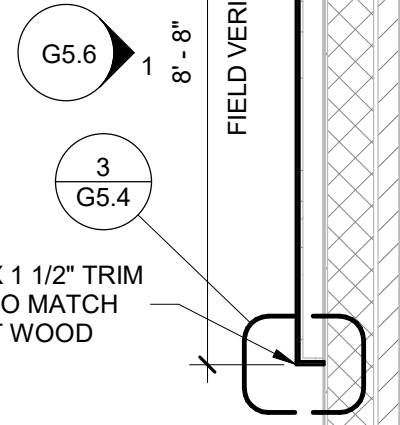


### 3 ASSEMBLY DISPLAY WALL DETAIL

SCALE: 1 1/2" = 1'-0"

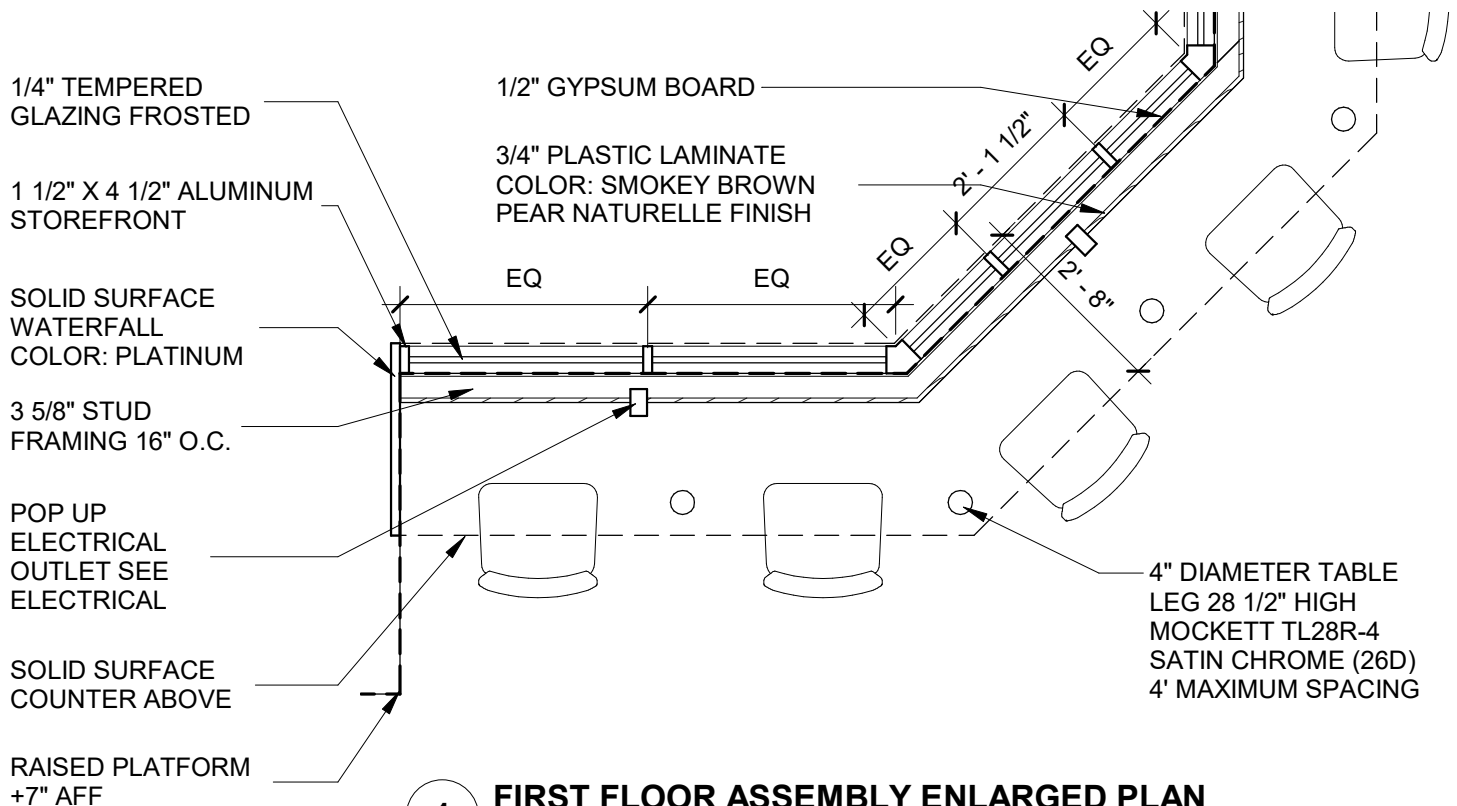
NEW 6" X 24" ASH  
BROWN WOOD  
MOSAIC #1033886

NEW 1/2" X 1 1/2" TRIM  
STAINED TO MATCH  
ADJACENT WOOD



## 2 ASSEMBLY DISPLAY WALL

SCALE:  $\frac{3}{8}'' = 1'-0''$

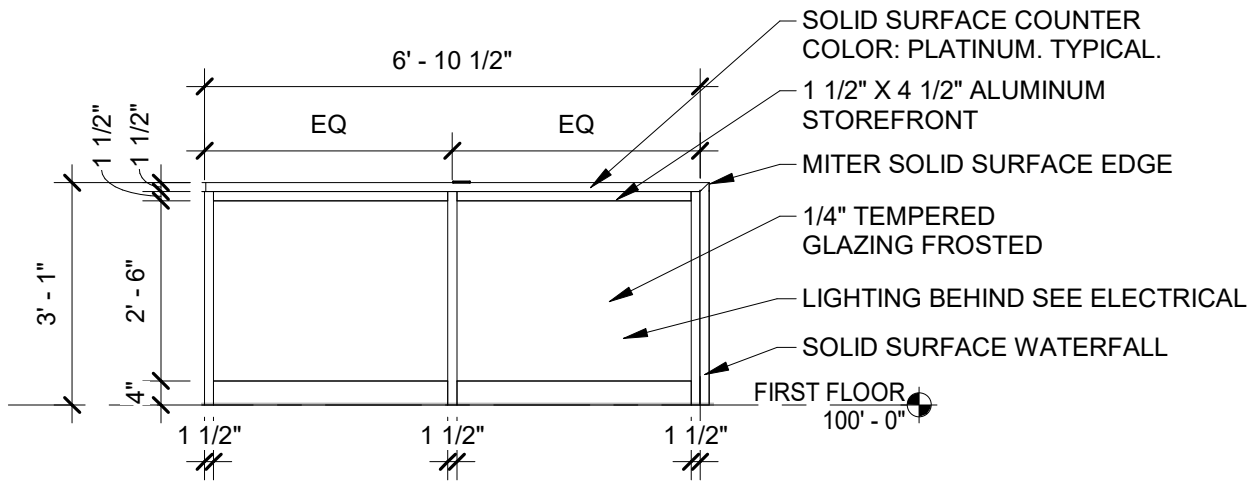


## 1 FIRST FLOOR ASSEMBLY ENLARGED PLAN

SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS

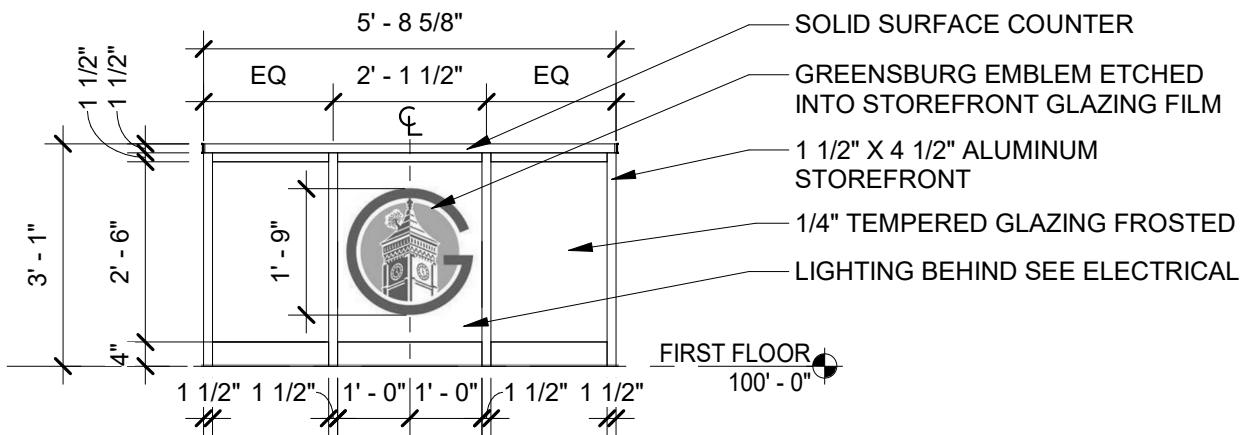




1

## ASSEMBLY ELEVATION A

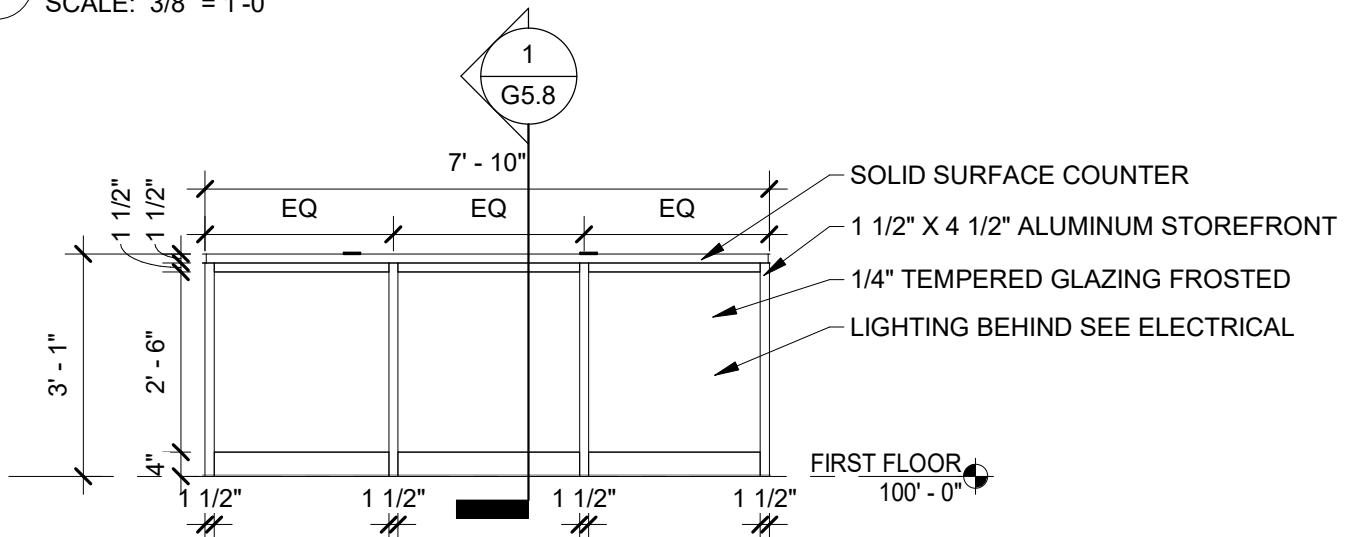
SCALE: 3/8" = 1'-0"



2

## ASSEMBLY ELEVATION B

SCALE: 3/8" = 1'-0"



3

## ASSEMBLY ELEVATION C

SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS



Select DLZ Company

RENOVATION OF THE  
GREENSBURG CITY HALL

ASSEMBLY ROOM COUNCIL DESK ELEVATIONS

REMARKS:

SKETCH NUMBER

PROJECT NO: 2063-1044-90

DATE: 03/31/2021

G5.5 (R)

GENERAL



NEW 3/4" METAL  
REVEAL

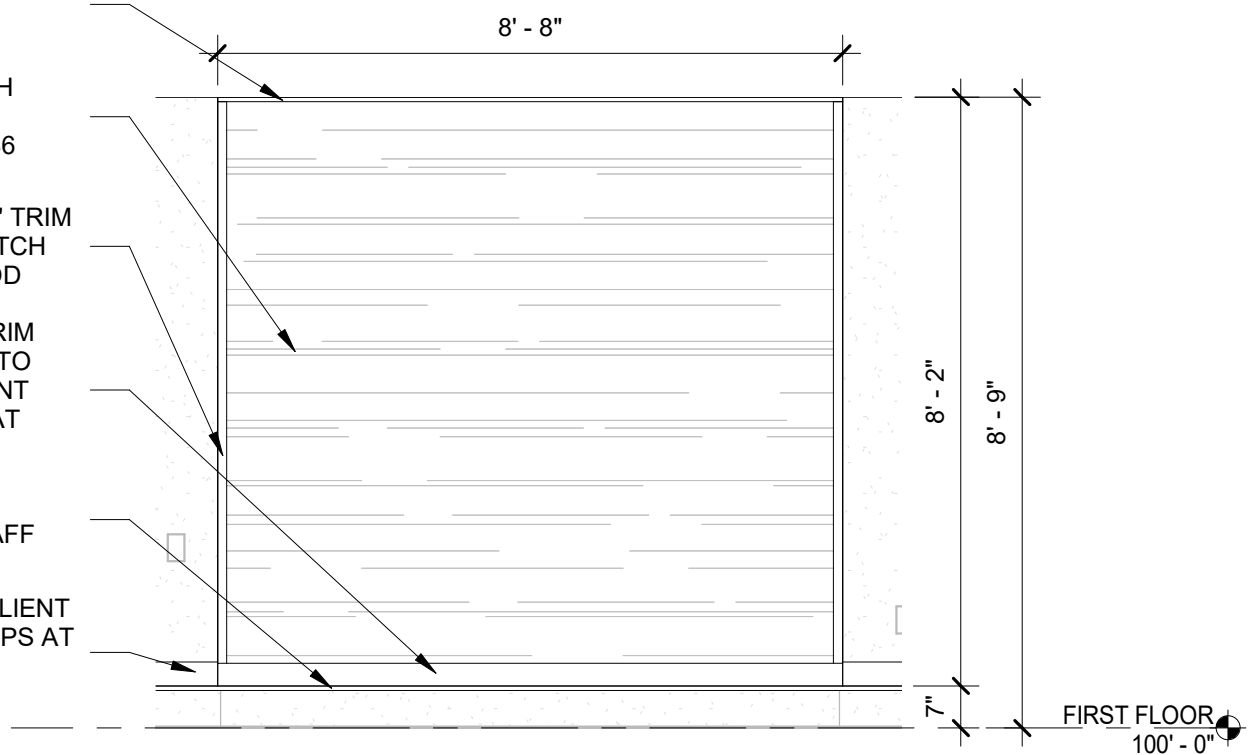
NEW 6" X 24" ASH  
BROWN WOOD  
MOSAIC #1033886

NEW 1/2" X 1 1/2" TRIM  
STAINED TO MATCH  
ADJACENT WOOD

NEW +/- 3 3/4" TRIM  
PIECE STAINED TO  
MATCH ADJACENT  
WOOD WRAPS AT  
EDGES


NEW RAISED  
PLATFORM +7" AFF

MILLWORK RESILIENT  
WALL BASE STOPS AT  
FACE OF WOOD  
MOSAIC WALL



**1 ASSEMBLY EAST ELEVATION**  
SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS

 <p>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>ASSEMBLY ROOM ELEVATION</p>	REMARKS:	SKETCH NUMBER
			G5.6 (R)
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	
			GENERAL



LUXURY VINYL PLANK LV-2  
APPLIED TO TOP AND  
VERTICAL FACE OF PLATFORM

2 LAYERS OF 3/4" FIRE  
RETARDANT PLYWOOD  
SUBSTRATE

BATT INSULATION TO  
FILL CAVITY

PLASTIC LAMINATE CASEWORK  
COLOR: SMOKEY BROWN PEAR

MILLWORK RESILIENT BASE

3/4" PLYWOOD

5 1/2" COLD FORMED  
METAL FRAMING

FIRST FLOOR  
100' - 0"

2

## ASSEMBLY CASEWORK SECTION

SCALE: 3/4" = 1'-0"

BATTERY OPERATED ROLLER  
SHADE

TELEVISION AND MOUNT -  
BY AUDIO VISUAL

SOLID SURFACE COUNTERTOP  
COLOR: PLATINUM

NEW VINYL STAIR NOSING

FIRST FLOOR  
100' - 0"

2' - 5"  
FIELD VERIFY

2' - 6" 2' - 9" 2' - 9" 1' - 3" 1' - 3"  
1108 1108 1108 1220 1220

2  
G5.7

PLASTIC LAMINATE  
CASEWORK COLOR:  
SMOKEY BROWN PEAR

LUXURY VINYL PLANK  
LV-2 APPLIED TO TOP  
AND VERTICAL FACE  
OF PLATFORM

PLATFORM TO  
CONTINUE UNDER  
CASEWORK TOE KICK

1' - 10"

1

## ASSEMBLY ROOM A162 - ELEVATION PR 002 REVISED

SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS



ARCHITECTURE • ENGINEERING • PLANNING  
SURVEYING • CONSTRUCTION SERVICES

Select DLZ Company

RENOVATION OF THE  
GREENSBURG CITY HALL

ASSEMBLY ROOM ELEVATION

REMARKS:

SKETCH NUMBER

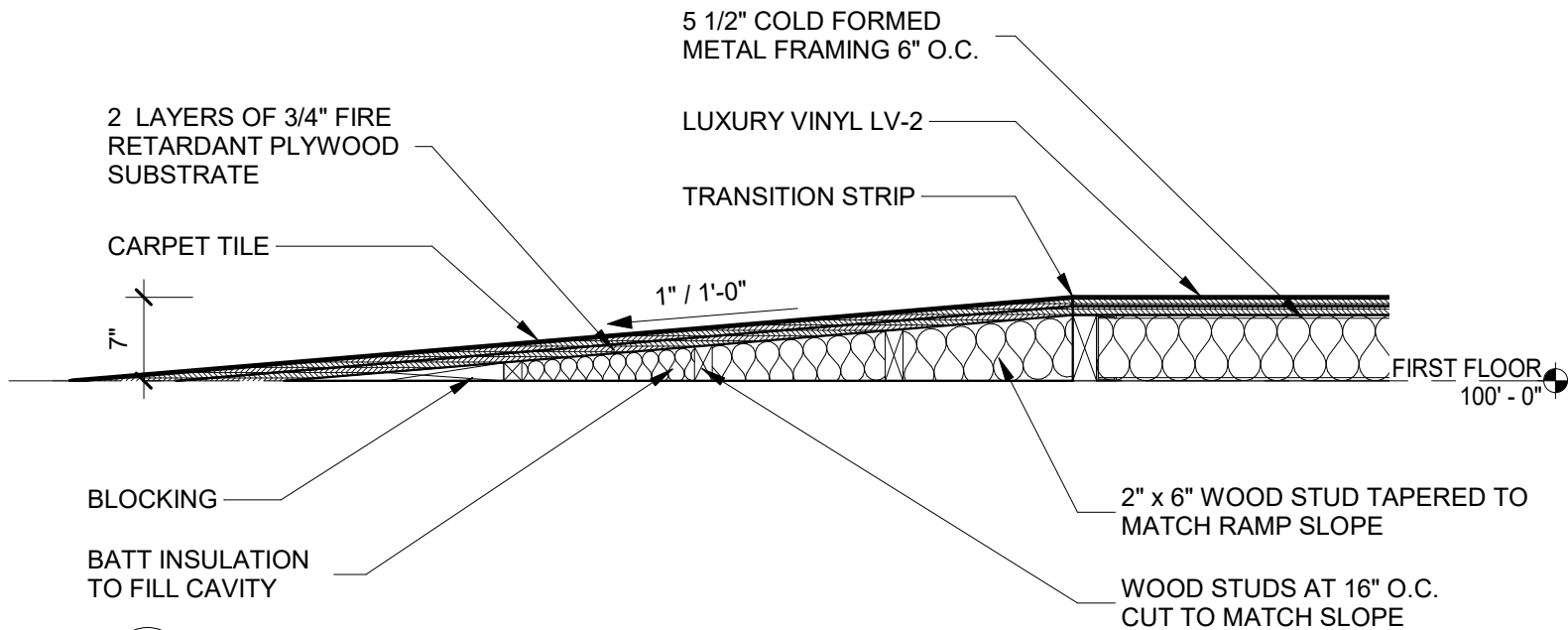
G5.7 (R)

PROJECT NO: 2063-1044-90

DATE: 03/31/2021

GENERAL

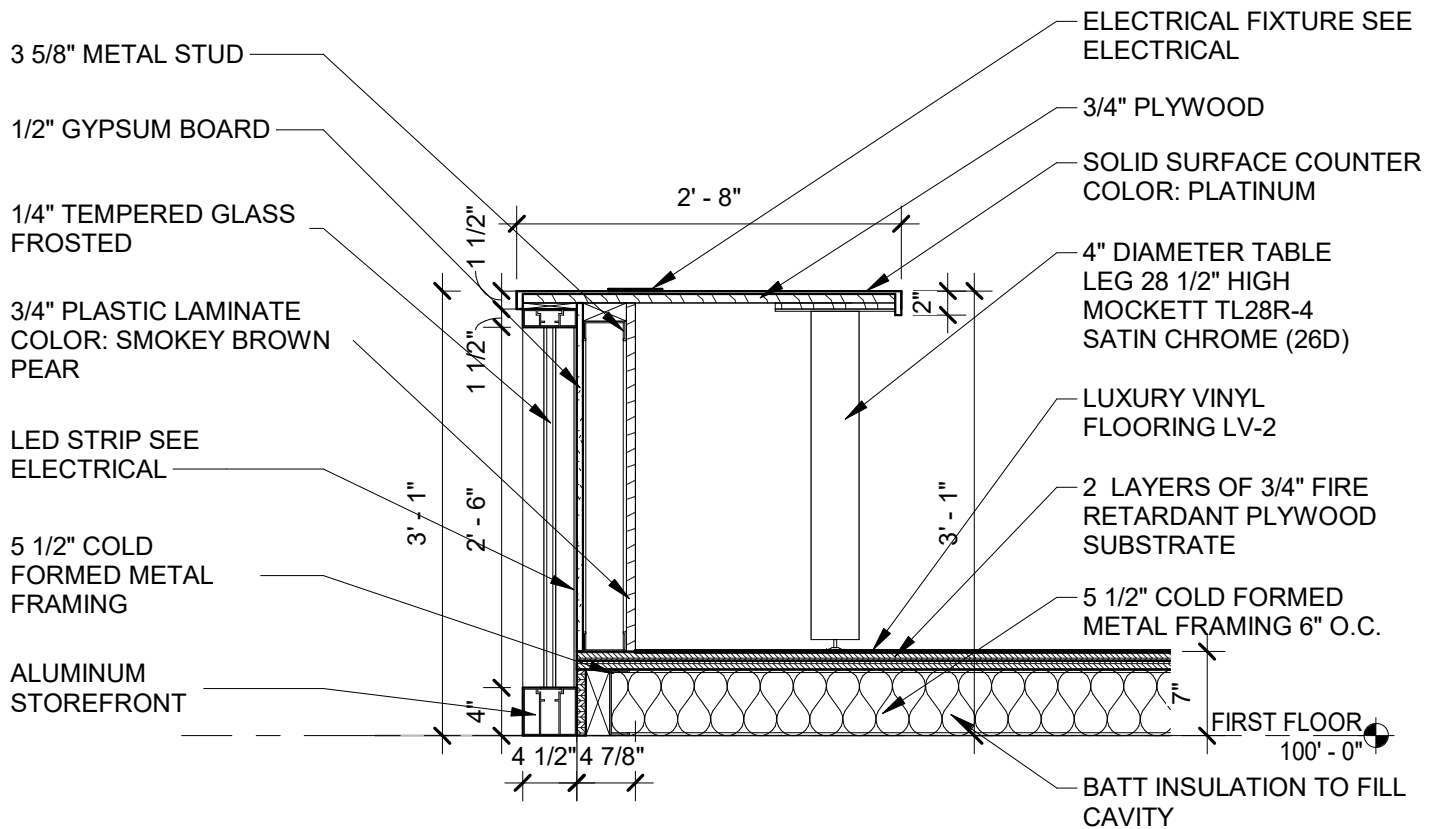




2

## ASSEMBLY ROOM RAMP

SCALE: 3/4" = 1'-0"




1

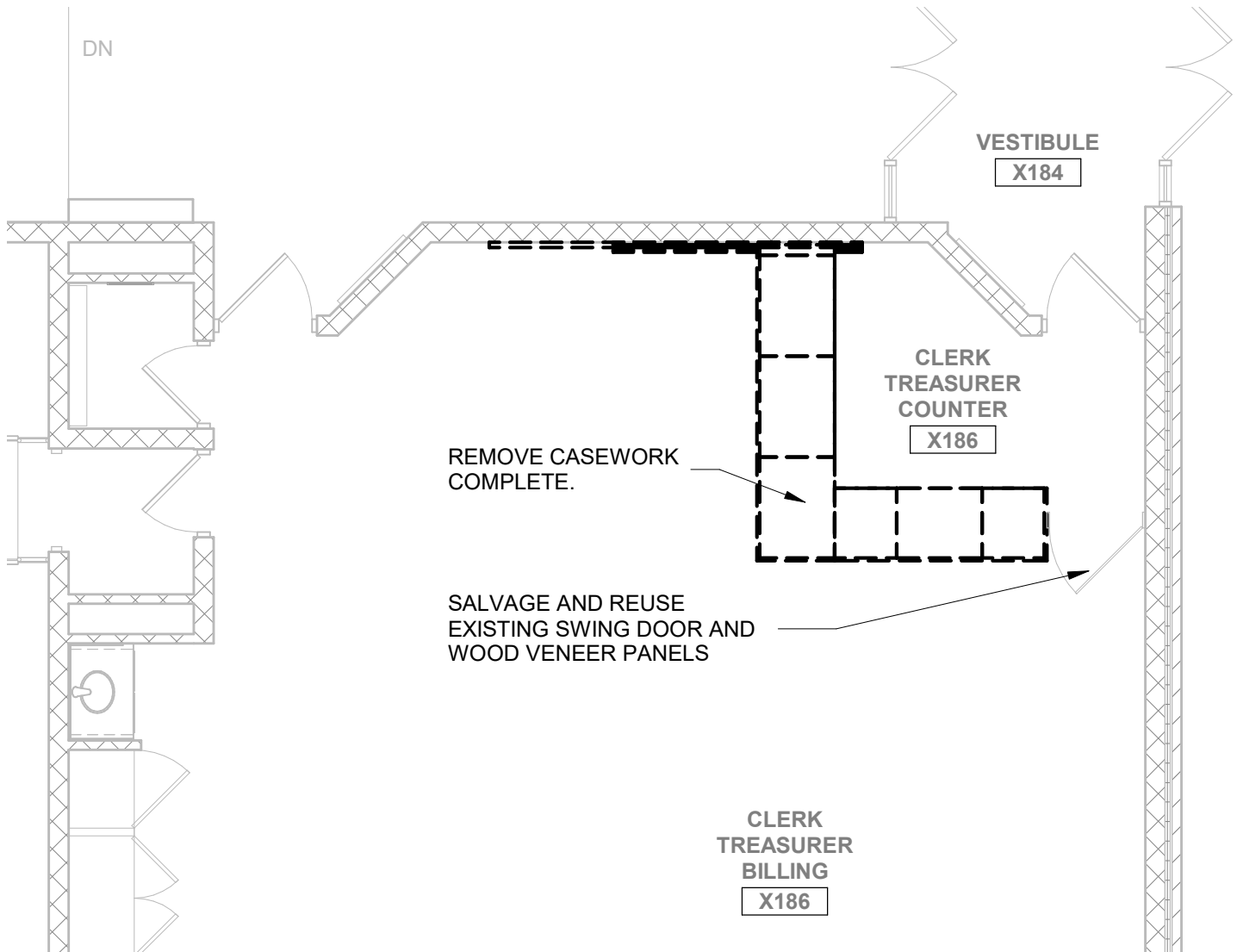
## ASSEMBLY COUNTER SECTION

SCALE: 3/4" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS


 <p>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>ASSEMBLY ROOM COUNCIL DESK SECTION</p>	REMARKS:	SKETCH NUMBER
			G5.8 (R)
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL



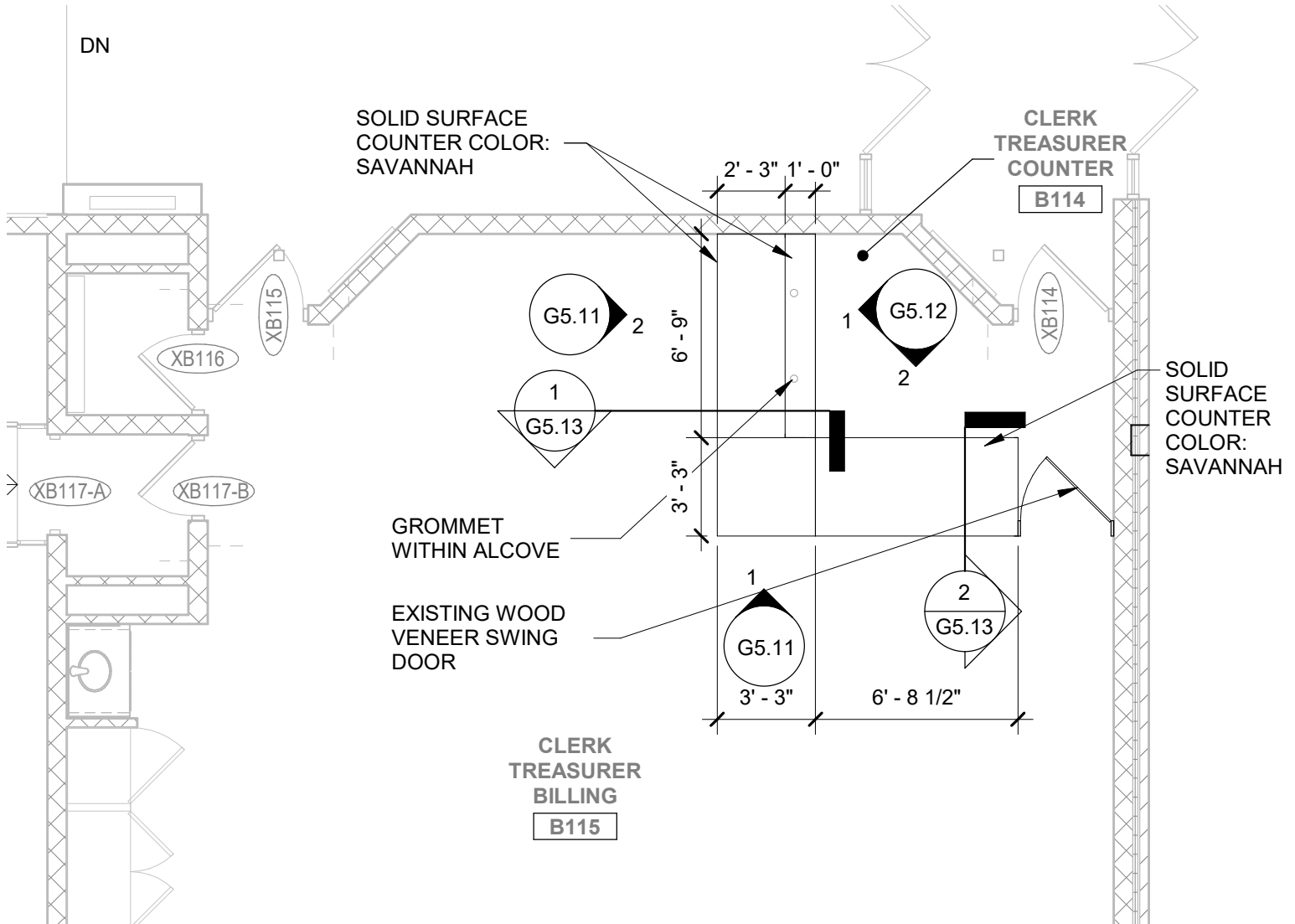


**1 CLERK TREASURER BILLING REMOVAL PLAN**  
SCALE: 3/16" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS


 <p>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p> <p>Select DLZ Company</p>	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			G5.9 (R)
	CLERK TREASURER COUNTER REMOVAL PLAN	PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL



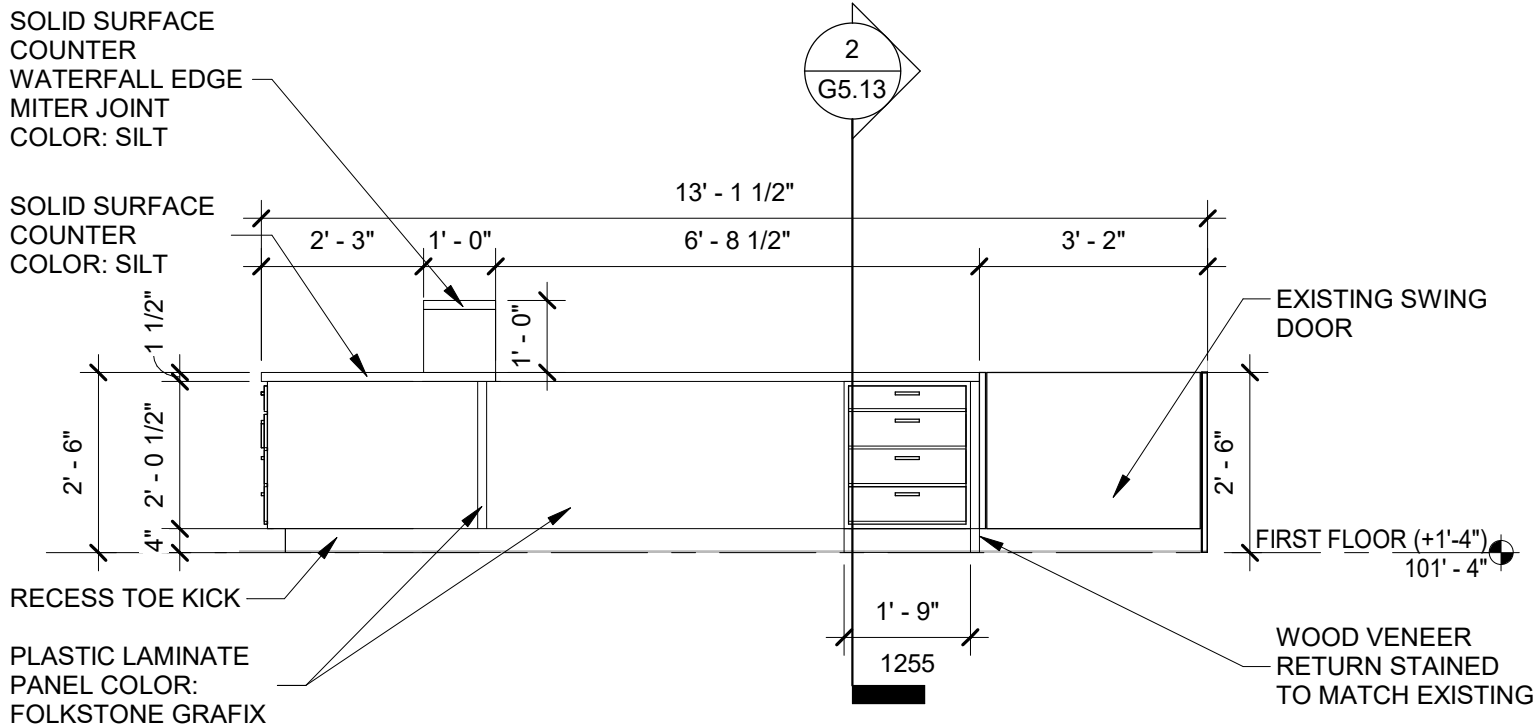


**1 FIRST FLOOR PLAN CLERK DESK**  
SCALE: 3/16" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS

 <p>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>CLERK TREASURER COUNTER PLAN</p>	REMARKS:	SKETCH NUMBER
			G5.10 (R)
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL

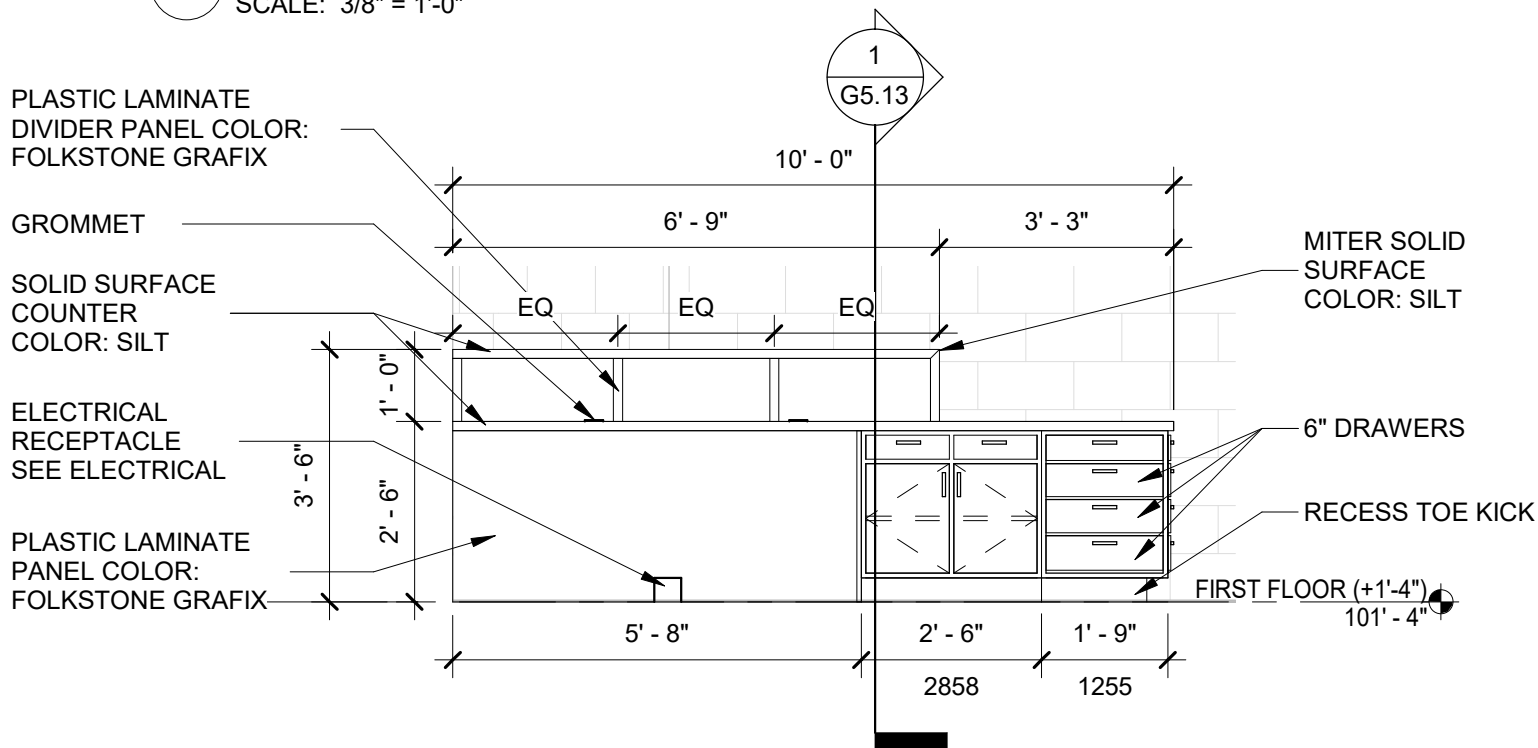




1

## CLERK COUNTER ELEVATION A

SCALE: 3/8" = 1'-0"




2

## CLERK COUNTER ELEVATION B

SCALE: 3/8" = 1'-0"

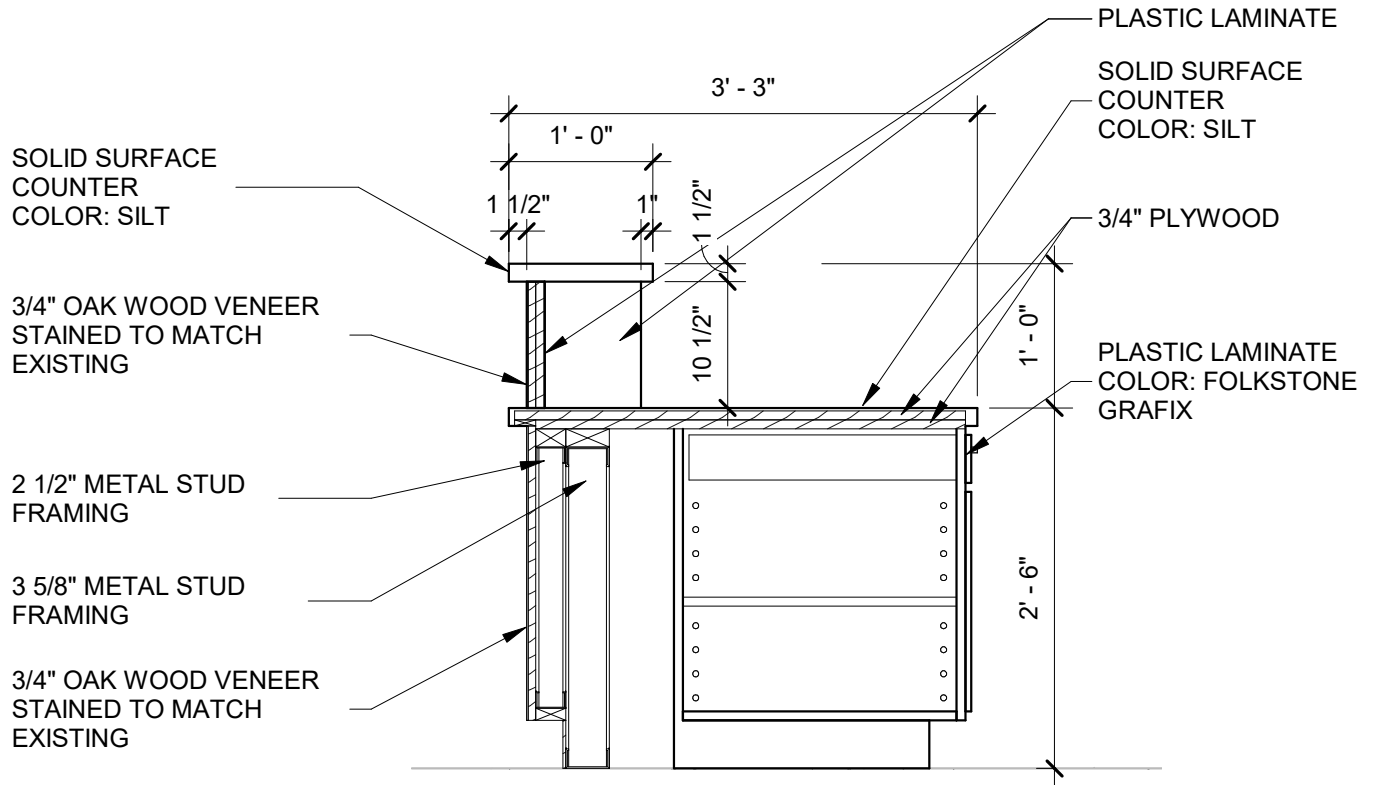
CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS

 <p>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>CLERK TREASURER COUNTER ELEVATIONS</p>	REMARKS:	SKETCH NUMBER
			G5.11 (R)
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL

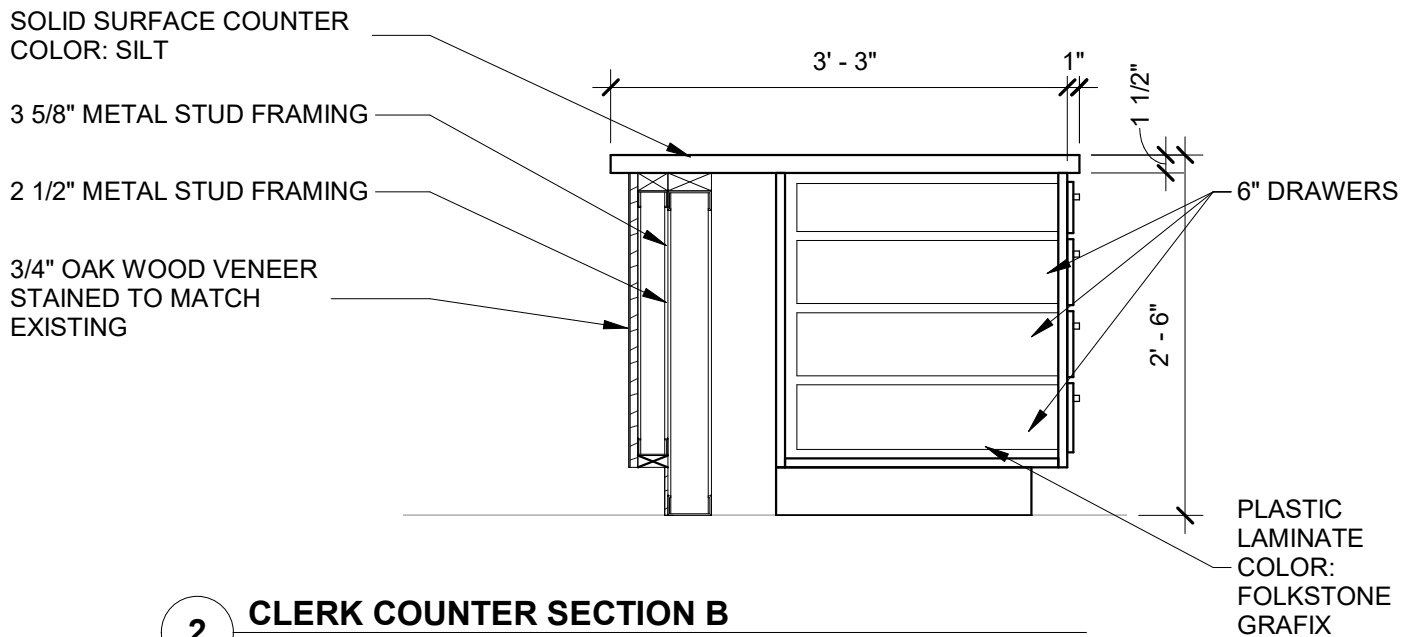









**1 CLERK COUNTER SECTION A**  
SCALE: 3/4" = 1'-0"

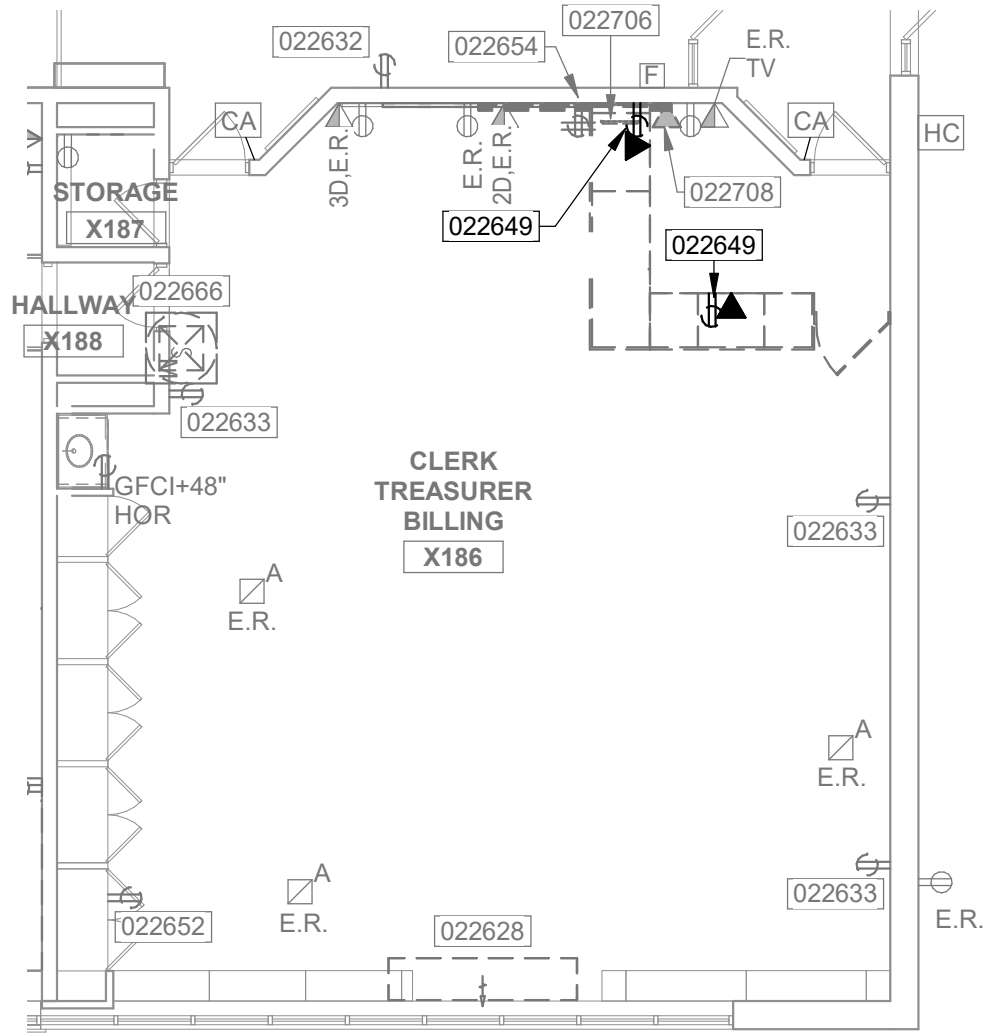


**2 CLERK COUNTER SECTION B**  
SCALE: 3/4" = 1'-0"

CONTRACTOR SHALL FIELD VERIFY  
ALL CONDITIONS AND DIMENSIONS

 <p>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>CLERK TREASURER COUNTER SECTIONS</p>	REMARKS:	SKETCH NUMBER
			G5.13 (R)
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL





NORTH

1


## CLERK-TREASURER #B114 REMOVAL PLAN

SCALE: 1/8" = 1'-0"

## KEYNOTES

- 022649 EXISTING SURFACE MOUNTED RACEWAY AND DUPLEX RECEPTACLES TO BE REMOVED COMPLETE. EXISTING CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW AREA DEVICES.

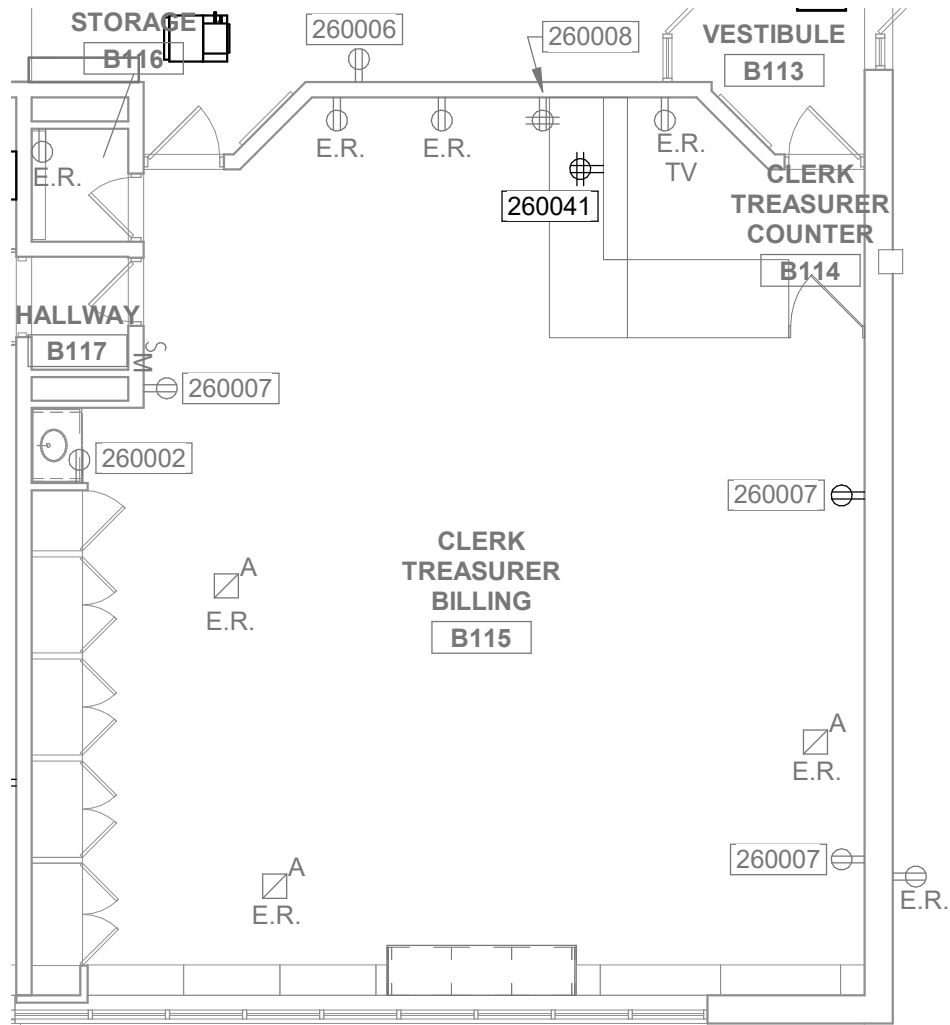
REFERENCE DRAWING ED2.2 FIRST FLOOR POWER AND SYSTEMS REMOVAL PLAN - UNIT B

<div><p>EDLZ ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</p></div> <div>DLZ INDIANA, LLC</div>	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
	CLERK TREASURER BILLING REMOVAL PLAN		ED2.4 (R)
		PROJECT NO:2063-1044-90	
		DATE: 02/11/2021	ELECTRICAL










# 1 CLERK-TREASURER #B114 POWER PLAN

SCALE: 1/8" = 1'-0"

## KEYNOTES

260041 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED ROOM/AREA RECEPTACLE(S). MODIFY AND EXTEND AS NEEDED.

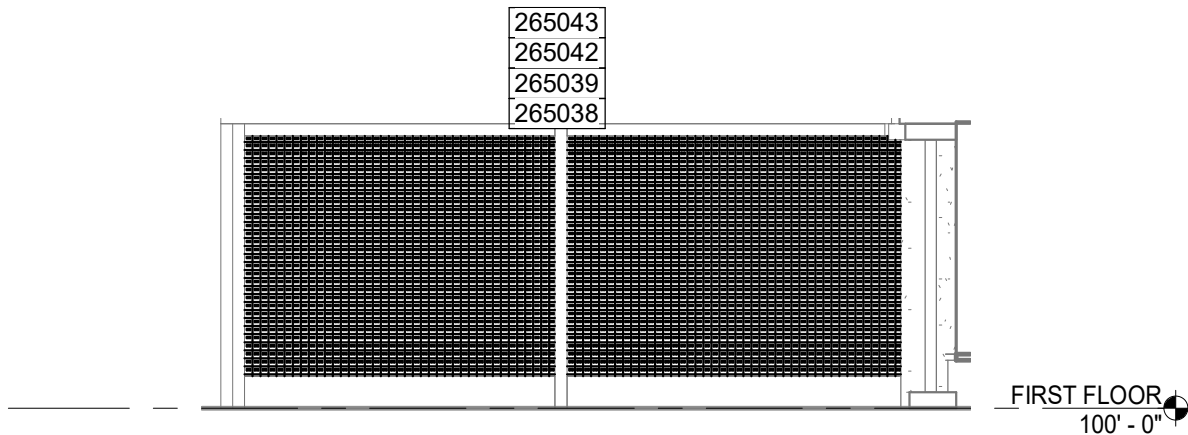
REFERENCE DRAWING E2.2 FIRST FLOOR POWER PLAN - UNIT B

	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			E2.5 (R)
	CLERK TREASURER BILLING POWER PLAN	PROJECT NO:2063-1044-90	
		DATE: 02/11/2021	ELECTRICAL










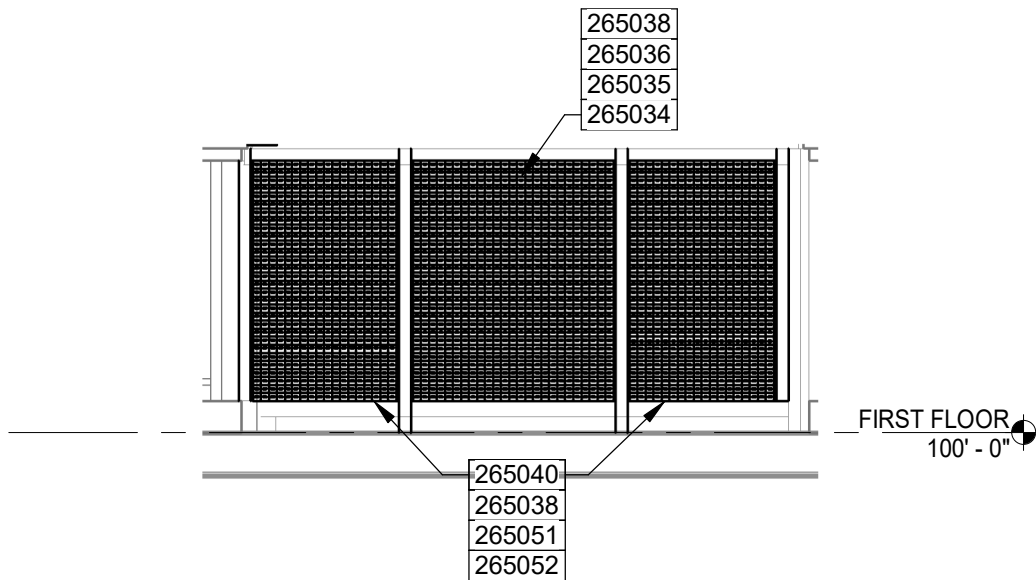
**1 ASSEMBLY COUNTER BACK-LIGHTING ELEVATION A**  
SCALE: 1/2" = 1'-0"

## KEYNOTES

- 265038 CONTRACTOR SHALL PROVIDE FULL SCALE MOCK-UP OF FLEXIBLE SHEET LIGHTING TO BE INSTALLED BEHIND LOGO/FROSTED GLAZING. MOCK-UP SHALL INCLUDE FROSTED GLASS AND MATERIAL REFLECTANCES WITHIN THE SPACE. PROVIDE EVEN ILLUMINATION OVER/THROUGH THE FROSTED GLASS SURFACE ELIMINATING INDIVIDUAL LED MODULE VIEWS. OWNER/ENGINEER AND ARCHITECT SHALL BE PRESENT FOR MOCK-UP AND SHALL PROVIDE FINAL APPROVAL.
- 265039 FURNISH AND INSTALL SEVENTEEN (17) 12" X 24" FLEXIBLE RGBW LED SHEET LIGHTING MOUNTED ON GYPSUM BOARD SUBSTRATE FOR BACK LIGHTING. EACH SHEET TO BE LIKE KELVIX #FF2-RGBW-20W-30K-IP20-24V OR APPROVED EQUAL WITH 120 DEGREE BEAM SPREAD, 144 LEDS PER SQFT, 90 CRI, 20W PER SQFT AT 24V. SHEET TO BE SCREW MOUNTED ON GYPSUM BOARD SUBSTRATE PER MANUFACTURERS RECOMMENDATION.
- 265042 FURNISH AND INSTALL EIGHT (8) 96W, 24V CLASS 2 SUPPLY DRIVER FOR POWERING FLEXIBLE SHEET LIGHTING. DRIVER TO BE LIKE KELVIX #ULV96 OR APPROVED EQUAL. DRIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. FURNISH AND INSTALL EIGHT (8) 72 INCH RGB-W POWER FEED CABLE LIKE KELVIX #FML-5C-6 OR APPROVED EQUAL. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM DRIVER TO EACH FLEXIBLE SHEET.
- 265043 FURNISH AND INSTALL EIGHT (8) 4 CHANNEL, 5AMP/CHANNEL RF RECEIVER FOR CONTROLLING FLEXIBLE SHEET LIGHTING. RECEIVER TO BE LIKE KELVIX #RFR-A-4C-5A OR APPROVED EQUAL. RECEIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM RECEIVER TO FLEXIBLE SHEET(S) AS REQUIRED.

 <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> DLZ INDIANA, LLC	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			E3.5 (R)
	ASSEMBLY ROOM COUNTER LIGHTING - ELEVATION A (TYP.2)	PROJECT NO:2063-1044-90	
		DATE: 02/11/2021	ELECTRICAL





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## ASSEMBLY COUNTER BACK-LIGHTING ELEVATION B

SCALE: 1/2" = 1'-0"

## KEYNOTES

- 265034 FURNISH AND INSTALL FIVE (5) 12" X 24" FLEXIBLE RGBW LED SHEET LIGHTING MOUNTED ON GYPSUM BOARD SUBSTRATE FOR BACK LIGHTING LOGO. EACH SHEET TO BE LIKE KELVIX #FF2-RGBW-20W-30K-IP20-24V OR APPROVED EQUAL WITH 120 DEGREE BEAM SPREAD, 144 LEDS PER SQFT, 90 CRI, 20W PER SQFT AT 24V. SHEET TO BE SCREW MOUNTED ON GYPSUM BOARD SUBSTRATE PER MANUFACTURERS RECOMMENDATION.
- 265035 FURNISH AND INSTALL TWO (2) 96W, 24V CLASS 2 SUPPLY DRIVER FOR POWERING FLEXIBLE SHEET LIGHTING. DRIVER TO BE LIKE KELVIX #ULV96 OR APPROVED EQUAL. DRIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. FURNISH AND INSTALL TWO (2) 72 INCH RGB-W POWER FEED CABLE LIKE KELVIX #FML-5C-6 OR APPROVED EQUAL. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM DRIVER TO EACH FLEXIBLE SHEET.
- 265036 FURNISH AND INSTALL TWO (2) 4 CHANNEL, 5AMP/CHANNEL RF RECEIVER FOR CONTROLLING FLEXIBLE SHEET LIGHTING. RECEIVER TO BE LIKE KELVIX #RFR-A-4C-5A OR APPROVED EQUAL. RECEIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM RECEIVER TO FLEXIBLE SHEET(S) AS REQUIRED.
- 265038 CONTRACTOR SHALL PROVIDE FULL SCALE MOCK-UP OF FLEXIBLE SHEET LIGHTING TO BE INSTALLED BEHIND LOGO/FROSTED GLAZING. MOCK-UP SHALL INCLUDE FROSTED GLASS AND MATERIAL REFLECTANCES WITHIN THE SPACE. PROVIDE EVEN ILLUMINATION OVER/THROUGH THE FROSTED GLASS SURFACE ELIMINATING INDIVIDUAL LED MODULE VIEWS. OWNER/ENGINEER AND ARCHITECT SHALL BE PRESENT FOR MOCK-UP AND SHALL PROVIDE FINAL APPROVAL.
- 265040 FURNISH AND INSTALL NINE (9) 12" X 24" FLEXIBLE RGBW LED SHEET LIGHTING MOUNTED ON GYPSUM BOARD SUBSTRATE FOR BACK LIGHTING. EACH SHEET TO BE LIKE KELVIX #FF2-RGBW-20W-05K-IP20-24V OR APPROVED EQUAL WITH 120 DEGREE BEAM SPREAD, 144 LEDS PER SQFT, 90 CRI, 20W PER SQFT AT 24V. SHEET TO BE SCREW MOUNTED ON GYPSUM BOARD SUBSTRATE PER MANUFACTURERS RECOMMENDATION.
- 265051 FURNISH AND INSTALL FOUR (4) 96W, 24V CLASS 2 SUPPLY DRIVER FOR POWERING FLEXIBLE SHEET LIGHTING. DRIVER TO BE LIKE KELVIX #ULV96 OR APPROVED EQUAL. DRIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. FURNISH AND INSTALL FOUR (4) 72 INCH RGB-W POWER FEED CABLE LIKE KELVIX #FML-5C-6 OR APPROVED EQUAL. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM DRIVER TO EACH FLEXIBLE SHEET.
- 265052 FURNISH AND INSTALL FOUR (4) 4 CHANNEL, 5AMP/CHANNEL RF RECEIVER FOR CONTROLLING FLEXIBLE SHEET LIGHTING. RECEIVER TO BE LIKE KELVIX #RFR-A-4C-5A OR APPROVED EQUAL. RECEIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM RECEIVER TO FLEXIBLE SHEET(S) AS REQUIRED.



ARCHITECTURE • ENGINEERING • PLANNING  
SURVEYING • CONSTRUCTION SERVICES

DLZ INDIANA, LLC

RENOVATION OF THE  
GREENSBURG CITY HALL

ASSEMBLY ROOM COUNTER LIGHTING - ELEVATION B (TYP.2)

REMARKS:

SKETCH NUMBER

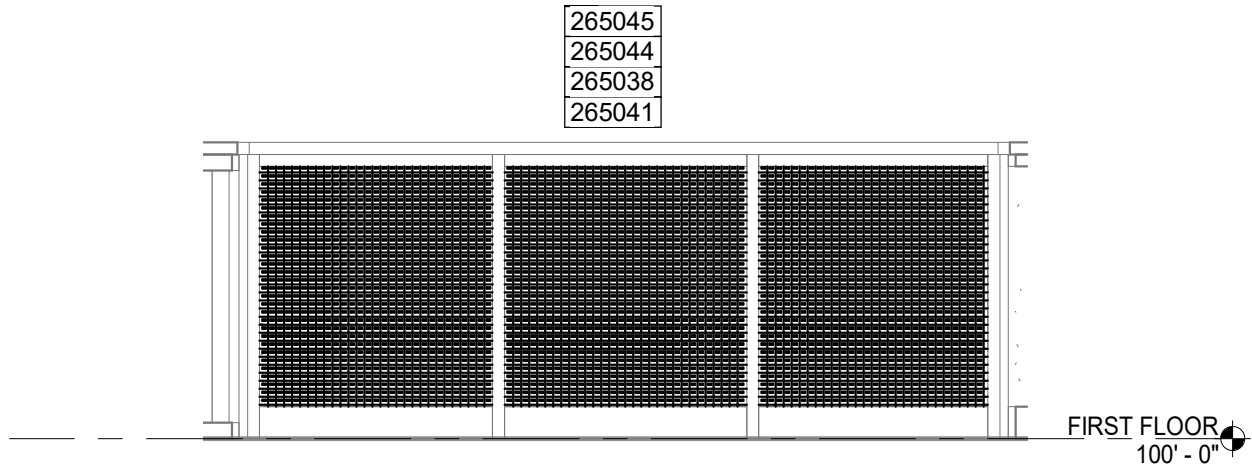
E3.6 (R)

PROJECT NO:2063-1044-90

DATE: 02/11/2021

ELECTRICAL






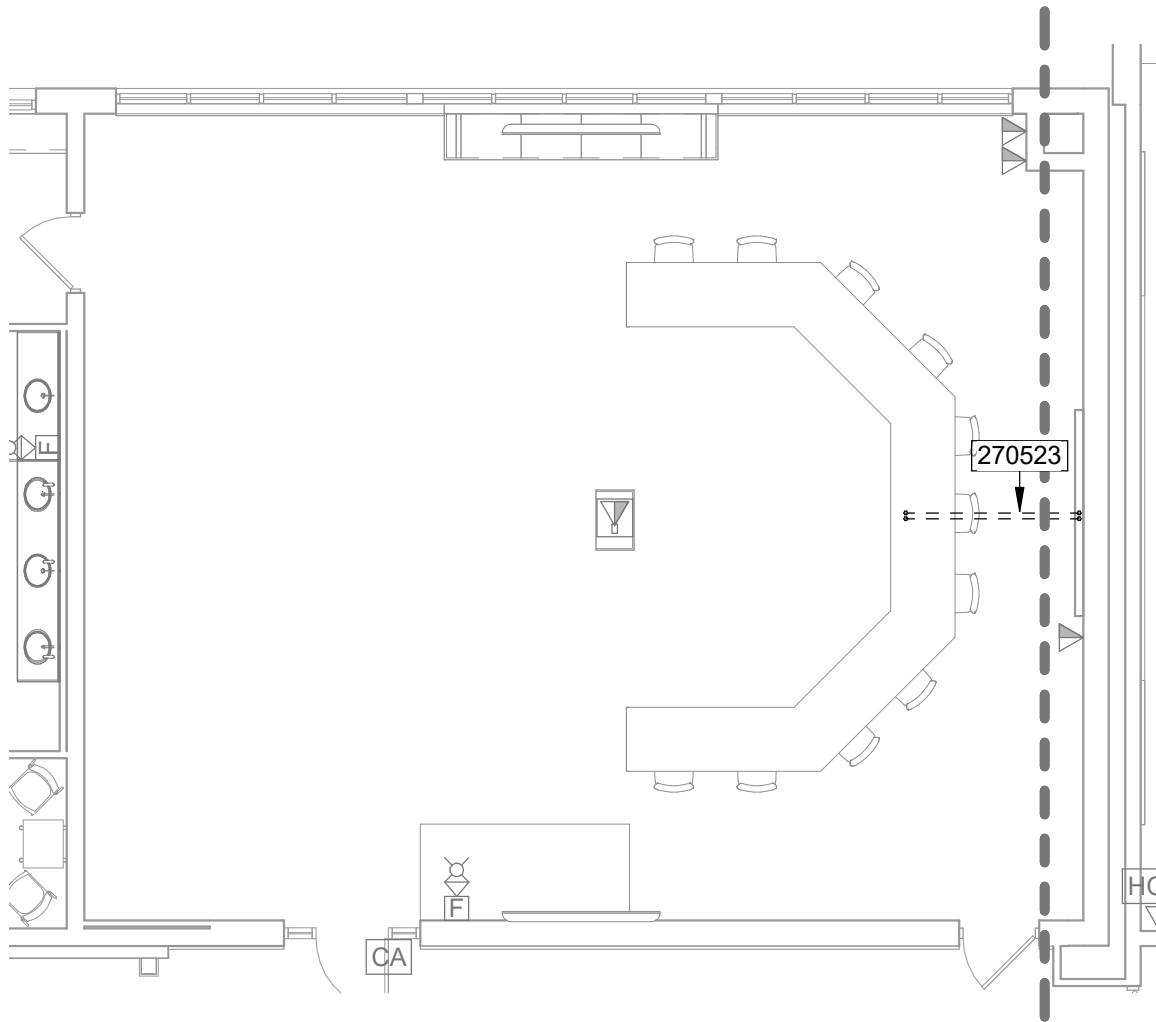
**1 ASSEMBLY COUNTER BACK-LIGHTING ELEVATION C**  
SCALE: 1/2" = 1'-0"



## KEYNOTES

- 265038 CONTRACTOR SHALL PROVIDE FULL SCALE MOCK-UP OF FLEXIBLE SHEET LIGHTING TO BE INSTALLED BEHIND LOGO/FROSTED GLAZING. MOCK-UP SHALL INCLUDE FROSTED GLASS AND MATERIAL REFLECTANCES WITHIN THE SPACE. PROVIDE EVEN ILLUMINATION OVER/THROUGH THE FROSTED GLASS SURFACE ELIMINATING INDIVIDUAL LED MODULE VIEWS. OWNER/ENGINEER AND ARCHITECT SHALL BE PRESENT FOR MOCK-UP AND SHALL PROVIDE FINAL APPROVAL.
- 265041 FURNISH AND INSTALL TEN (10) 12" X 24" FLEXIBLE RGBW LED SHEET LIGHTING MOUNTED ON GYPSUM BOARD SUBSTRATE FOR BACK LIGHTING. EACH SHEET TO BE LIKE KELVIX #FF2-RGBW-20W-05K-IP20-24V OR APPROVED EQUAL WITH 120 DEGREE BEAM SPREAD, 144 LEDS PER SQFT, 90 CRI, 20W PER SQFT AT 24V. SHEET TO BE SCREW MOUNTED ON GYPSUM BOARD SUBSTRATE PER MANUFACTURERS RECOMMENDATION.
- 265044 FURNISH AND INSTALL SIX (6) 96W, 24V CLASS 2 SUPPLY DRIVER FOR POWERING FLEXIBLE SHEET LIGHTING. DRIVER TO BE LIKE KELVIX #ULV96 OR APPROVED EQUAL. DRIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. FURNISH AND INSTALL SIX (6) 72 INCH RGB-W POWER FEED CABLE LIKE KELVIX #FML-5C-6 OR APPROVED EQUAL. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM DRIVER TO EACH FLEXIBLE SHEET.
- 265045 FURNISH AND INSTALL SIX (6) 4 CHANNEL, 5AMP/CHANNEL RF RECEIVER FOR CONTROLLING FLEXIBLE SHEET LIGHTING. RECEIVER TO BE LIKE KELVIX #RFR-A-4C-5A OR APPROVED EQUAL. RECEIVER TO BE MOUNTED IN CAVITY BEHIND GYPSUM BOARD SUBSTRATE, FIELD VERIFY EXACT LOCATION. PROVIDE CONNECTION PER MANUFACTURERS RECOMMENDATION FROM RECEIVER TO FLEXIBLE SHEET(S) AS REQUIRED.

 <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> DLZ INDIANA, LLC	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER  E3.7 (R)
	ASSEMBLY ROOM COUNTER LIGHTING - ELEVATION C	PROJECT NO:2063-1044-90	ELECTRICAL
		DATE: 02/11/2021	








**ASSEMBLY #A162 SYSTEMS PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

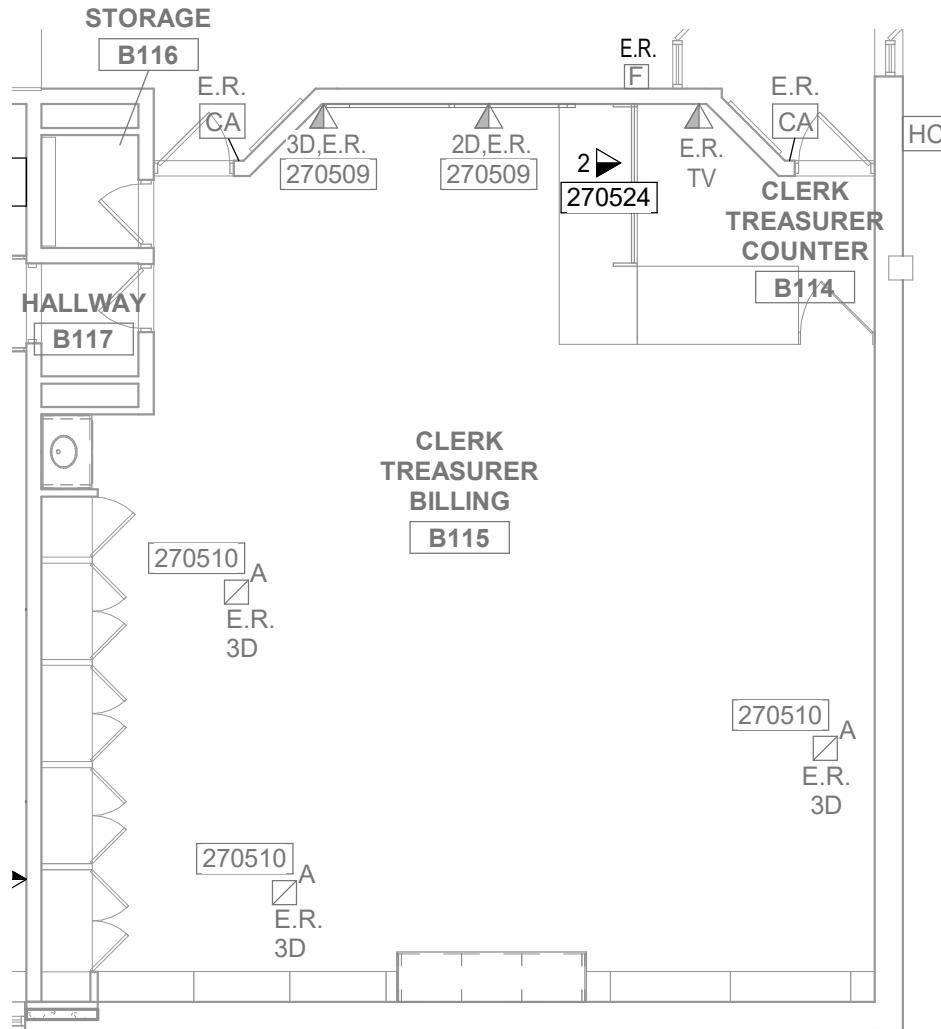
## KEYNOTES

- 270523 FURNISH AND INSTALL (2)-1" CONDUITS FROM COUNTER BACK STUBBED OUT ABOVE ACCESSIBLE CEILING FOR COMMUNICATIONS CABLING. ROUTE CONDUIT BELOW RAISED FLOOR OVER AND UP EAST WALL WHERE SHOWN. PROVIDE WITH PULLSTRINGS AND BUSHINGS.

REFERENCE DRAWING E4.1 FIRST FLOOR AND MEZZANINE SYSTEMS PLAN - UNIT A

 <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> DLZ INDIANA, LLC	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			E4.4 (R)
	ASSEMBLY ROOM COUNCIL SYSTEMS PLAN	PROJECT NO: 2063-1044-90	
		DATE: 02/11/2021	ELECTRICAL





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## CLERK-TREASURER #B114 SYSTEMS PLAN

SCALE: 1/8" = 1'-0"

## KEYNOTES

- 270524 FURNISH AND INSTALL NEW CAT6 CABLES AND ASSOCIATED JACKS. # SHOWN INDICATES NUMBER OF JACKS/CABLES TO BE PROVIDED. ROUTE CABLES TO NEW IDF RACK IN CLERK TREASURER WORK ROOM #B118.

REFERENCE DRAWING E4.2 FIRST FLOOR SYSTEMS PLAN - UNIT B

 <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> DLZ INDIANA, LLC	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			E4.5 (R)
	CLERK TREASURER BILLING SYSTEMS PLAN	PROJECT NO:2063-1044-90	
		DATE: 02/11/2021	ELECTRICAL



## LIGHTING FIXTURE SCHEDULE H4

TY PE	LA MP	WATT AGE	VOL TS	DESCRIPTION	BASIS OF DESIGN	EQUAL MANUFACTU RER	EQUAL MANUFACTU RER
H4	LED	15 W	120V	6" DIAMETER LED FIXTURE, RECESSED DOWNLIGHT, 1471 LUMENS, 14.7W, 3500K, SEMI-SPECULAR REFLECTOR, WHITE DIE CAST TRIM RING, MEDIUM DISTRIBUTION.	GOTHAM LIGHTING EVO-6AR-35/15-MD-LS S-MVOLT-EZ1-TRW	FOCAL POINT ID+6" SERIES AS AN APPROVED EQUAL	HUBBELL PRESCOLITE LTR-6RD SERIES AS AN APPROVED EQUAL



DLZ INDIANA, LLC

RENOVATION OF THE  
GREENSBURG CITY HALL

LIGHT FIXTURE SCHEDULE

REMARKS:

SKETCH NUMBER

E6.3 (R)

PROJECT NO: 2063-1044-90

DATE: 02/11/2021

ELECTRICAL





# AIA<sup>®</sup> Document G701<sup>™</sup> – 2017

## Change Order

<b>PROJECT:</b> <i>(Name and address)</i> Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	<b>CONTRACT INFORMATION:</b> Contract For: General Construction Date: 12/07/2021	<b>CHANGE ORDER INFORMATION:</b> Change Order Number: 009 Date: 04/20/2021
<b>OWNER:</b> <i>(Name and address)</i> Joshua Marsh, Mayor  314 West Washington Street, Greensburg, Indiana 47240	<b>ARCHITECT:</b> <i>(Name and address)</i> DLZ Indiana, LLC  138 N. Delaware St, Indianapolis, IN 46204	<b>CONTRACTOR:</b> <i>(Name and address)</i> Construction Planning and Management, Inc. (CPM) 10053 N. Hague Rd, Indianapolis, Indiana 46256

### THE CONTRACT IS CHANGED AS FOLLOWS:

*(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)*

#### Item No. 1 Conference A104

- a) Install new stone veneer accent wall along West wall of Conference A104 as shown in attached drawings.
- b) Remove electrical devices (surface raceway, receptacles and communications outlets) as shown in attached drawings.
- c) Install new electrical devices (receptacles and communications outlets) as shown in attached drawings.
- d) Install new lighting control as shown on attached drawings.

#### Item No. 2 Corridor A111

- a) Install new stone veneer accent wall along North wall of Corridor A111 as shown in attached drawings.
- b) Install new wall wash/graze lighting as shown on attached drawings.
- c) Install power and control for Owner provided Illuminated Sign as shown on attached drawings.

#### Item No. 3 Receptionist A102

- a) Install new lighting control as shown on attached drawings.

#### Item No. 4 Admin 176

- a) Install new lighting control for Corridor A111 wall wash lights and illuminated sign as shown on attached drawings.

#### Item No. 5 Conference A121

- a) Install new solid surface window sill as shown in attached drawings.

#### Item No. 6 Multi-Purpose A141

- a) Remove existing wood cabinet doors beneath existing Platform A139.
- b) Install new unfinished solid core wood doors matching size and location of original doors as shown in attached drawings.
- c) Stain new solid core wood doors and existing wood trim to match new door stain as shown in attached drawings.
- d) Install new concealed hardware as shown in attached drawings.

#### Item No. 7 Storage A163

- a) Remove existing sink, counter, and cabinetry in Storage A163. Patch, paint, and repair as required to match adjacent surfaces.
- b) Remove and cap off existing lines flush with the wall and floor. Patch the floor to be flush with existing and match adjacent conditions.
- c) Revise maximum number of circuit for Panel '2L' as shown in attached drawings.

#### Item No. 8 Break A154

- a) Revise counter, casework, and appliances as shown in attached drawings.
- b) Revise location of electrical devices (refrig/microwave/disposal and above counter receptacles) as shown in attached drawings.
- c) Add specialty outlet and circuitry for Owner provided stove as shown in attached documents.
- d) Revise thermostat location as shown in attached drawings.
- e) Revise plumbing piping and associated equipment and accessories adjusted to match new sink location as shown in attached drawings.

#### Item No. 9 Assembly A162

- a) Item removed per Owners request. 4.20.2021



Item No. 10 Plan Director's Counter A173

- a) Restain exposed North and East faces of Plan Director's Casework to match new door stain.
- b) Restain swing gate, wood return on the East side of the swing gate, and swing gate jambs to match new door stain.

Item No. 11 City Engineer Counter A167

- a) Restain exposed North and East faces of City Engineer Casework to match new door stain.
- b) Restain swing gate, wood return on the East side of the swing gate, and swing gate jambs to match new door stain.

Item No. 12 Eliminate Restaining Wood Doors Unit B

- a) Existing corridor doors XB101, XB104, XB105, XB110, XB114, XB115, XB118, and XB120 are not to be restained.

Item No. 13 Veneer Plaster/Skim Coat Wall Applications

- a) Eliminate all veneer plaster applications in rooms A127, A124, A119, A105, A172, A169, A166, A136, A138, A142, and A154.
- b) Prime and apply a skim coat compound over glazed CMU in rooms A127, A124, A119, A105, A172, A169, A166, A136, A138, A142, and A154.

Item No. 14 Eliminate New Wall Construction Planning Meeting Room A169 and Plan Director's Office 172

- a) Eliminate the two proposed walls adjacent to the existing east wall included in PR007.
- d) Prime and apply a skim coat compound over the existing east walls to smooth irregular wall surfaces .

Item No. 15 Multi-Purpose A141 Skim Coat Application

- a) Prime and apply a skim coat compound over all existing glazed CMU walls in Multi-Purpose Room A141. Refer to attached specification Section 092513 Acrylic Skim Coat Plastering

Item No. 16 Panel Signage Revisions

- a) Provide credit to eliminate room identification panel signs at the following locations: CITY ENGINEER A166, PLANNING MEETING ROOM A169, PLAN DIRECTORS OFFICE A172, ASSEMBLY A162, ADMIN A176, RECEPTIONIST A102, CONFERENCE A104, WAITING A103, OFFICE A107, ADA UNISEX TOILET A114, ADA UNISEX TOILET A116, MULTI-PURPOSE A141, OFFICE A117, OFFICE A119, OFFICE A136, ADMIN SUPPORT A120, ADMIN SUPPORT A123, TRAINING A127, WATER BILLING STORAGE B101, WATER BILLING WORK ROOM B102, WATER BILLING B105, WATER COUNTER B110, CLERK TREASURER COUNTER B114, CLERK TREASURER BILLING B115, CLERK TREASURER WORK ROOM B118, CLERK TREASURER STORAGE B120.

Attachments:

Change Order Request COR #008

The original Contract Sum was	\$ 3,855,200.00
The net change by previously authorized Change Orders	\$ 105,854.53
The Contract Sum prior to this Change Order was	\$ 3,961,054.53
The Contract Sum will be increased by this Change Order in the amount of	\$ 55,685.03
The new Contract Sum including this Change Order will be	\$ 4,016,739.56

The Contract Time will be increased by Four (4) days.

The new date of Substantial Completion will be 8/4/2021

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

DLZ Indiana, LLC

ARCHITECT (Firm name)

SIGNATURE

Eric B. Ratts, Principal Architect

PRINTED NAME AND TITLE

2021 04-21

DATE

Construction Planning and Management,  
Inc. (CPM)

CONTRACTOR (Firm name)

Connor Blaker

SIGNATURE

Connor Blaker, Project Manager

PRINTED NAME AND TITLE

04/21/2021

DATE

Greensburg Board of Public Works

OWNER (Firm name)

Joshua L. Marsh

SIGNATURE

Joshua Marsh, Mayor

PRINTED NAME AND TITLE

4/21/2021

DATE





# Change Order Request

**COR#: 008**  
~~**COR#: 012**~~

Project: GREENSBURG CITY HALL RENO  
314 WEST WASHINGTON STREET  
GREENSBURG, IN 47240

Job Number: 202022  
Status: PROPOSED  
Origination date: ~~04/13/21~~

Customer: GREENSBURG BRD OF PUBLIC WORKS

THIS COR WAS REVISED 4/20/21 FOLLOWING  
THE BOARD MEETING, PLEASE SEE  
DESCRIPTION SECTION BELOW.

## Description

PRICING FOR PR-008

THIS CHANGE ORDER IS FOR THE EXTRA WORK AS SHOWN IN PR-008 DATED 03/31/21 AND THE SUPPORTING DOCUMENTS.

PLEASE SEE THE ATTACHED DOCUMENTS FOR FURTHER BREAKDOWN (35 PAGES).

**\*\*PLEASE NOTE THAT DUE TO THE LARGE INCREASE IN DRYWALL WORK, CPM IS REQUESTING 4 ADDITIONAL CALENDAR DAYS AND 3 ADDITIONAL WORK DAYS AT THE COST OF \$737.40 PER WORKING DAY. THE APPROVAL OF THIS COR WILL REVISE THE SUBSTANTIAL COMPLETION DATE FROM 7/31/21 TO 8/4/21.\*\***

\*REVISED 4/20/21 - DLZ ADVISED THAT THE CITY ELECTED TO DELETE THE UPGRADE FOR THE POWERED WINDOW BLINDS WHICH WAS A VALUE OF \$18,500 - THIS CHANGE HAS NOW BEEN IMPLEMENTED INTO THIS CHANGE ORDER REQUEST.\*

## Schedule

Requested days delay: 4

## Contractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
02-0200 CONCRETE PATCHING	M MATERIAL			400.00
ALLOWANCE FOR MISC CONCRETE PATCHING REQUIRED				
09-0130 MCCOOL PLASTER	C CONTINGENCY			-7,000.00
CREDIT FROM MCCOOL PLASTER TO REMOVE THE VENEER PLASTERING AS SHOWN IN ITEM 13A				
09-0070 MISC. WALL PATCH / INFILL	M MATERIAL			200.00
ALLOWANCE FOR MISC DRYWALL PATCHING				
10-0210 SIGNS	M MATERIAL			-1,270.50
CREDIT TO REMOVE SIGNAGE PER ITEM 16				
09-0270 WOOD STAINING	M MATERIAL			1,500.00
ALLOWANCE FOR MISC WOOD STAINING IN ITEMS 10 & 11				
01-0110 SUPERINTENDENT	L DIRECT LABOR			884.88
COST FOR SUPERINTENDENT FOR 3 ADDITIONAL WORKING DAYS				
01-0108 PROJECT MANAGER	L DIRECT LABOR			774.27
COST FOR PM FOR 3 ADDITIONAL WORKING DAYS				
01-0106 PROJECT ENGINEER	L DIRECT LABOR			553.05
COST FOR PE FOR 3 ADDITIONAL DAYS				
01-0143 INSURANCE BOND	M MATERIAL			532.18
COST FOR INCREASE OF PERFORMANCE BOND				
<b>Contractor Pricing Total:</b>				<b>-3,426.12</b>

## Subcontractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
02-0150 ALPHA DEMOLITION, INC.	S SUBCONTRACTOR			1,160.00
ADD FOR DEMO WORK DIRECTED IN ITEM 7				
04-0040 BILL WEASE MASONRY, INC.	S SUBCONTRACTOR			6,960.00
COST FOR MASONRY WORK AS SHOWN IN ITEMS 1A & 2A				
09-0060 PARKER DRYWALL, INC.	S SUBCONTRACTOR			39,620.00
DRYWALL ADDS FOR ITEMS 13B, 14, 15				
16-0020 EMPIRE ELECTRIC	S SUBCONTRACTOR			2,185.00
EMPIRE ELECTRIC COST FOR ITEMS 1B, 1C, 1D, 2B, 2C, 3, 4, 7C, 8B, 8C, 9				
09-0170 FACILITY MAINTENANCE USA	S SUBCONTRACTOR			-1,665.00
PAINT CREDITS FOR ITEMS 1, 2, 12 AND COST FOR ITEM 7				





# Change Order Request

COR#: 008

~~COR#: 012~~

Project: GREENSBURG CITY HALL RENO  
314 WEST WASHINGTON STREET  
GREENSBURG, IN 47240

Job Number: 202022  
Status: PROPOSED  
Origination date: ~~04/13/21~~

Customer: GREENSBURG BRD OF PUBLIC WORKS

## Subcontractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
12-0040 MINNICK WOODWORKING LLC	S SUBCONTRACTOR			8,199.49
COST FOR ADDITIONAL CASEWORK ITEMS AS DESCRIBED IN ITEMS 5 & 6				

**Subcontractor Pricing Total:** **56,459.49**

**Total:** **53,033.37**

**Mark-up:** **2,651.66**

**Total Contractor Price for CR 012** **55,685.03**

## Approvals

Approval of this Change Order Request constitutes a change to the Contract and authorizes CPM CONSTRUCTION PLANNING & to begin work on the attached and referenced scope of work, for the above cost.

Customer: GREENSBURG BRD OF PUBLIC WORKS

Contractor: CPM CONSTRUCTION PLANNING &

Authorized Representative: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Architect: ~~DLZ Indiana, Inc.~~ DLZ Indiana, LLC

Other: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_



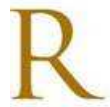
**From:** Tim <[tamccool@msn.com](mailto:tamccool@msn.com)>  
**Sent:** Tuesday, March 02, 2021 3:46 PM  
**To:** Tyler Sizelove <[TSizelove@cpmconstruction.com](mailto:TSizelove@cpmconstruction.com)>  
**Subject:** Re: Greensburg City Hall - Plaster Patching

Tyler, to include the interior plaster patching. **ADD \$7,000.**

Tim McCool  
McCool Plaster & Drywall, Inc.  
4065 Hooven Road  
Cleves, OH 45002  
(513)353-9644 office  
(513)353-9677 fax  
(513)383-4526 cell  
**[tamccool@msn.com](mailto:tamccool@msn.com)**

Remove from contract, deduct \$7,000





A.R.K. RAMOS  
ARCHITECTURAL SIGNAGE

Project:	
Renovation of the Greensburg City Hall	

Bid Date  
11/23/2020

Customer: **Hoping to Partner with you!**

Offered by:



Summit Business Supply  
P.O. Box 4313  
Copley, OH 44321

Quote Date  
11/22/2020

Attention:  
Phone:  
Email:

Tim Brennan (330)-338-3392

### Price Quotation

Sign Type	Braille	Description	Unit Cost	QTY	Dimensions	Product Series	Total Product Cost	Panel Sign Spec Notes
Type 1	Y	Restroom	\$38.50	15	8x8	S900 Photopolymer	\$577.50	<u>Material</u>
Type 2	Y	Room Sign	\$38.50	80	8x8	S900 Photopolymer	\$3,080.00	
Plaque		Dedication Plaque	\$0.00	1	24x30	Bronze Plaque	\$1,528.00	<u>Thickness</u>
Type 4			\$0.00	0			\$0.00	
Type 5			\$0.00	0			\$0.00	<u>Background Color</u>
Type 6			\$0.00	0			\$0.00	
Type 7			\$0.00	0			\$0.00	<u>Color for Copy</u>
Type 8			\$0.00	0			\$0.00	
Type 9			\$0.00	0			\$0.00	<u>Letterform, Font</u>
Type 10			\$0.00	0			\$0.00	
Type 11			\$0.00	0			\$0.00	<u>Border</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Edge Treatment</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Corners</u>
Type			\$0.00	0			\$0.00	<u>Mounting Instruction</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Lead Time</u>

Warranty:

Other Notes



Total Sign  
Count 96

Sub Total \$5,185.50

Shipping and Handling \$95.00

Total Cost \$5,280.50

Thank you for choosing Mohawk Sign Systems

Quote is valid for 90 days

PO#:

Authorized by:

Bid number





A.R.K. RAMOS  
ARCHITECTURAL SIGNAGE

Project:	
Renovation of the Greensburg City Hall	

Bid Date

Customer: **CPM Construction**  
10053 N. Hague Road  
Indianapolis, IN 46256

Offered by:



**Summit Business Supply**  
P.O. Box 4313  
Copley, OH 44321

Quote Date  
4/5/2021

Attention:  
Phone: 317-842-8040  
Email:

**Tim Brennan (330)-338-3392**

### Price Quotation

Sign Type	Braille	Description	Unit Cost	QTY	Dimensions	Product Series	Total Product Cost	Panel Sign Spec Notes
Type 1	Y	Restroom	\$38.50	10	8x8	S900 Photopolymer	\$385.00	<u>Material</u>
Type 2	Y	Room Sign	\$38.50	52	8x8	S900 Photopolymer	\$2,002.00	
Plaque		Dedication Plaque	\$0.00	1	24x30	Bronze Plaque	\$1,528.00	<u>Thickness</u>
Type 4			\$0.00	0			\$0.00	
Type 5			\$0.00	0			\$0.00	<u>Background Color</u>
Type 6			\$0.00	0			\$0.00	
Type 7			\$0.00	0			\$0.00	<u>Color for Copy</u>
Type 8			\$0.00	0			\$0.00	
Type 9			\$0.00	0			\$0.00	<u>Letterform, Font</u>
Type 10			\$0.00	0			\$0.00	
Type 11			\$0.00	0			\$0.00	<u>Border</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Edge Treatment</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Corners</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Mounting Instruction</u>
Type			\$0.00	0			\$0.00	
Type			\$0.00	0			\$0.00	<u>Lead Time</u>

Warranty:

Other Notes

**Summit Business Supply** Total Sign Count 63 Sub Total \$3,915.00

Shipping and Handling \$95.00

Total Cost \$4,010.00

Thank you for choosing Mohawk Sign Systems

Quote is valid for 90 days

PO#:

Authorized by:

Revised contract number  
\$5,280.50 - \$4,010.00 =  
\$1,270.50 PR-008 cost



## Tyler Sizelove

---

**From:** Jeff Caudill <alphademolitioninc@gmail.com>  
**Sent:** Thursday, April 01, 2021 9:45 PM  
**To:** Tyler Sizelove  
**Subject:** Re: Greensburg PR008

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Tyler please see below added cost associated with PR008

Labor \$840  
Tools \$120  
Disposal \$200

Total Cost **\$1,160**



On Thu, Apr 1, 2021 at 10:06 AM Tyler Sizelove <[TSizelove@cpmconstruction.com](mailto:TSizelove@cpmconstruction.com)> wrote:

Please review and submit pricing for PR-08. If you don't have any price changes, please reply to this email and let me know! Let me know if you have any questions! I would like to have all pricing back by Wednesday of next week. Let me know if that is going to be an issue.

Thank you

Tyler Sizelove  
Estimator  
CPM Construction Planning Management  
Cell: 765-661-2482

---



## Tyler Sizelove

---

**From:** rocko7191@aol.com  
**Sent:** Tuesday, April 06, 2021 1:04 PM  
**To:** Tyler Sizelove  
**Subject:** Re: Greensburg PR008

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

PR8 Item 1A  
PR8 Item 2A  
Labor & Material \$6960.00  
Thank You Bill Wease

-----Original Message-----

From: Tyler Sizelove <TSizelove@cpmconstruction.com>  
To: Tyler Sizelove <TSizelove@cpmconstruction.com>  
Sent: Thu, Apr 1, 2021 10:03 am  
Subject: Fwd: Greensburg PR008

Please review and submit pricing for PR-08. If you don't have any price changes, please reply to this email and let me know! Let me know if you have any questions! I would like to have all pricing back by Wednesday of next week. Let me know if that is going to be an issue.

Thank you

Tyler Sizelove  
Estimator  
CPM Construction Planning Management  
Cell: 765-661-2482

---



**PARKER DRYWALL, INC.**

**6409 S 250 E WALDRON, IN. 46182**

**1-800-439-2588**

4/13/2021

To: CPM, Inc.

Re: Drywall Bid

CITY HALL RENOVATION: 314 WEST WASHINGTON STREET GREENSBURG, IN.

Scope of Work: PR-8 Item 13

1. Prep and skim coat over lower tile areas for paint finish, touch up and or refinish upper wall areas ready for paint in Rooms A105, A119, A124, A127, A136, A138, A142, A154, A166, A169, and A172
2. Perform same process in rooms that have CMU Block instead of drywall finished walls
3. Place all scrap material and debris in dumpsters supplied by General Contractor

All Labor and Material - 24,860.00

Total Bid - \$ 24,860.00

Thanks,

Dave Parker



**PARKER DRYWALL, INC.**

**6409 S 250 E WALDRON, IN. 46182**

**1-800-439-2588**

4/8/2021

To: CPM, Inc.

Re: Drywall Bid

PR-8 Item No.15: GREENSBURG CITY HALL MULTI PURPOSE ROOM

Scope of Work: Multi Purpose Room and Stage Area

1. Seal existing CMU walls and apply several skim coats of joint compound until wall surface is flat and ready for new paint finish
2. Finish walls areas from floor to just above new ceiling heights
3. Place all scrap material and debris in dumpster supplied by General Contractor

All Labor and Material- 16,280.00

Total PR-8 \$ 16,280.00

Thanks,

Dave Parker



## Tyler Sizelove

---

**From:** Connor Blaker  
**Sent:** Thursday, April 08, 2021 12:56 PM  
**To:** Tyler Sizelove  
**Subject:** FW: PR008

---

**From:** William Andries <williamandries50@gmail.com>  
**Sent:** Wednesday, April 7, 2021 9:58 PM  
**To:** Connor Blaker <CBlaker@cpmconstruction.com>  
**Subject:** PR008

Item 1 con rm A104 b. deduct \$425  
c. Add \$375  
d. Add \$225  
~~e. Add \$power to roller shades \$450~~

Item 2 #2 corridor A111 b. Add \$350  
c. Add \$200

Item 3 recept A102 a. Add \$225

Item 4 Admin a. Add \$225

Item 7 Storage A163 c. Add \$450

Item 8 Break A154 b. no charge  
c. Add \$325

Item 9 Assembly A162 ~~a. Power to roller shades Add \$450~~

Item 10: Add for miscalculation of electrical quote in PR-006. [Add one 3/4 inch raceway as directed in key note 260044 was included in the quote but not added in the overall price] Add \$235

William Andries  
317-557-2254

Total Cost = \$2,185.00
-------------------------



## Connor Blaker

**From:** Brendan Moore  
**Sent:** Monday, February 22, 2021 12:44 PM  
**To:** Connor Blaker  
**Cc:** John P. Thompson  
**Subject:** FW: Greensburg Proposal request PR-004 and PR-006

Connor,

Please see below PR costs from Empire Electric.

Thank you,  
Brendan

**From:** williamandries50@gmail.com <williamandries50@gmail.com>  
**Sent:** Sunday, February 21, 2021 8:27 PM  
**To:** Brendan Moore <BMoore@cpmconstruction.com>; Tim Stainbrook <empireelectric1234@gmail.com>  
**Subject:** Greensburg Proposal request PR-004 and PR-006

Dear Brendan, the following are the cost associated with requested changes at Greensburg.

PR-004 Item 5. Add 3 general purpose receptacles \$555, add 2 quad receptacles \$430 and add 1 Phone/data location \$165.

PR-006 Item 3 First floor Mezzanine Power Unit A page E2.1 Add 12-general purpose Receptacles ~~\$2100~~ <sup>\$1,500</sup> Add 2- Quad receptacles ~~\$430~~ <sup>\$330</sup>, Add 1-GFCI receptacle ~~\$105~~ <sup>\$145</sup> and Add one 3/4inch raceway as directed in key note 260044 \$235

PR-006 Item 4 First floor power plan Unit B page E2.2 Add 3 quad receptacles ~~\$645~~ <sup>\$495</sup> Add 3 general purpose receptacles ~~\$525~~ <sup>\$375</sup> and 1 surface mounted raceway and receptacle ~~\$250~~ <sup>\$200</sup>

PR-006 Item 5 Page E4.1 Add 1-phone/data outlets and raceway. \$225  
PR-006 Item 5 Page E4.2 Add 3-phone/data cables to new IDF rack. \$495.

Thank you, Bill 317-557-2254

CHANGE ORDER # 002 Job # 202022 

COR Reference #: 006

The attached proposal is accepted based on the following:

- Only the scope of work and approved dollar amount are accepted.
- The original terms and conditions of the Subcontract Agreement remain unchanged without modification.
- Proceeding with this Change Order signifies the Subcontractors agreement that only the scope and approved dollar amount have been accepted.

Approved Dollar Amount \$ 3,765.00

Approved by: 

Date: 3/24/21 Z:\WORD\CF\19-FORMS\IP-FORMS\IP-44 Change Order Sticker.doc

**Update on electrician pricing  
3/3/21:**

**The electrician is willing to lower  
his pricing by \$50/electrical  
receptacle to help the city in  
getting this pricing approved.**

**Item 10: Costs listed above were  
incorrectly added in PR-006 (short \$235).**





# Estimate

# EST-0859

## Facility Maintenance USA

8375 E 96th St  
Suite #103  
Indianapolis Indiana 46256  
317-782-1800

Bill To  
**CPM Construction**  
10053 Hague Rd  
Indianapolis, IN 46256

Estimate Date : 04.07.2021  
Expiration Date : 05.08.2021  
Project Name : Greensburg City Hall PR  
#8

Item & Description	Qty	Rate	Amount
PR #8 Scope of Work: Item No 1 - Conference A104 reduction in painting - 50 sq ft	1.00	-35.00	-35.00
Item No 2 - Corridor A111 reduction in painting - 165 sq ft	1.00	-115.00	-115.00
Item No 7 - Storage A163 additional painting - 350 sq ft	1.00	245.00	245.00
Item No 12 - Eliminate restraining of 8 wood doors from Alternate 3	1.00	-1,760.00	-1,760.00
Assumptions: Item No. 6, 10, and 11 performed by other trade.	1.00	0.00	0.00
Sub Total			-1,665.00
Adjustment			1,665.00
Total			\$0.00

## Notes

We appreciate the opportunity to provide you this estimate. Please note that our bid is for the scope indicated and defined in our estimate. Our bid does not include any overtime, excessive prep work or any necessary permitting. Our time and material rates are as follows, \$55/man hour for regular time and \$82.50 for OT and weekend man hours with 15% profit added on to the total.



# Minnick Woodworking, LLC

5310 Foundation Blvd.  
New Albany, IN. 47150

4-12-21

TO; Tyler Sizelove @ CPM Construction

## ESTIMATE

Project Greensburg City Hall  
PR-008

Scope of work = New Solid surface window sill in Conference A121

**ESTIMATE PRICE = \$2,105.00**

Scope of work = New solid core doors and Finish work with new hardware in Multi-purpose room

**ESTIMATE PRICE = \$6,094.49**

\*Breakroom A154 = NO change in price but will submit new shop drawings

**Total Cost = \$8,199.49**





# AIA<sup>®</sup> Document G709<sup>™</sup> – 2018

## Proposal Request

<b>PROJECT:</b> <i>(name and address)</i>	<b>CONTRACT INFORMATION:</b>	Architect's Project Number: 2063-1044-90
Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	Contract For: General Construction Date: 12/07/2020	Proposal Request Number: 008 Proposal Request Date: 03/31/2021
<b>OWNER:</b> <i>(name and address)</i>	<b>ARCHITECT:</b> <i>(name and address)</i>	<b>CONTRACTOR:</b> <i>(name and address)</i>
Joshua Marsh, Mayor 314 West Washington Street, Greensburg, Indiana 47240	DLZ Indiana, LLC 138 N. Delaware St, Indianapolis, IN 46204	CPM Construction 10053 N. Hague Rd, Indianapolis, Indiana 46256

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Seven (7) days or notify the Architect in writing of the anticipated date of submission.

*(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)*

Contractor shall provide a cost for the items below:

### Item No. 1 Conference A104

- a) Install new stone veneer accent wall along West wall of Conference A104 as shown in attached drawings.
- b) Remove electrical devices (surface raceway, receptacles and communications outlets) as shown in attached drawings.
- c) Install new electrical devices (receptacles and communications outlets) as shown in attached drawings.
- d) Install new lighting control as shown on attached drawings.
- e) Provide Hunter Douglas Powerview automated roller shades in-lieu-of the manual operated roller shades. Powerview Automation should include a rechargeable Battery Wand and Single Charging Station.

### Item No. 2 Corridor A111

- a) Install new stone veneer accent wall along North wall of Corridor A111 as shown in attached drawings.
- b) Install new wall wash/graze lighting as shown on attached drawings.
- c) Install power and control for Owner provided Illuminated Sign as shown on attached drawings.

### Item No. 3 Receptionist A102

- a) Install new lighting control as shown on attached drawings.

### Item No. 4 Admin 176

- a) Install new lighting control for Corridor A111 wall wash lights and illuminated sign as shown on attached drawings.

### Item No. 5 Conference A121

- a) Install new solid surface window sill as shown in attached drawings.

### Item No. 6 Multi-Purpose A141

- a) Remove existing wood cabinet doors beneath existing Platform A139.
- b) Install new unfinished solid core wood doors matching size and location of original doors as shown in attached drawings.
- c) Stain new solid core wood doors and existing wood trim to match new door stain as shown in attached drawings.
- d) Install new concealed hardware as shown in attached drawings.

### Item No. 7 Storage A163

- a) Remove existing sink, counter, and cabinetry in Storage A163. Patch, paint, and repair as required to match adjacent surfaces.
- b) Remove and cap off existing lines flush with the wall and floor. Patch the floor to be flush with existing and match adjacent conditions.
- c) Revise maximum number of circuit for Panel '2L' as shown in attached drawings.



Item No. 8 Break A154

- a) Revise counter, casework, and appliances as shown in attached drawings.
- b) Revise location of electrical devices (refrig/microwave/disposal and above counter receptacles) as shown in attached drawings.
- c) Add specialty outlet and circuitry for Owner provided stove as shown in attached documents.
- d) Revise thermostat location as shown in attached drawings.
- e) Revise plumbing piping and associated equipment and accessories adjusted to match new sink location as shown in attached drawings.

Item No. 9 Assembly A162

- a) Provide Hunter Douglas Powerview automated roller shades in-lieu-of the manual operated roller shades. Powerview Automation should include a rechargeable Battery Wand and Single Charging Station.

Item No. 10 Plan Director's Counter A173

- a) Restain exposed North and East faces of Plan Director's Casework to match new door stain.
- b) Restain swing gate, wood return on the East side of the swing gate, and swing gate jambs to match new door stain.

Item No. 11 City Engineer Counter A167

- a) Restain exposed North and East faces of City Engineer Casework to match new door stain.
- b) Restain swing gate, wood return on the East side of the swing gate, and swing gate jambs to match new door stain.

Item No. 12 Eliminate Restaining Wood Doors Unit B

- a) Existing corridor doors XB101, XB104, XB105, XB110, XB114, XB115, XB118, and XB120 are not to be restained.

Item No. 13 Veneer Plaster/Skim Coat Wall Applications

- a) Eliminate all veneer plaster applications in rooms A127, A124, A119, A105, A172, A169, A166, A136, A138, A142, and A154.
- b) Prime and apply a skim coat compound over glazed CMU in rooms A127, A124, A119, A105, A172, A169, A166, A136, A138, A142, and A154.

Item No. 14 Eliminate New Wall Construction Planning Meeting Room A169 and Plan Director's Office 172

- a) Eliminate the two proposed walls adjacent to the existing east wall included in PR007.
- d) Prime and apply a skim coat compound over the existing east walls to smooth irregular wall surfaces .

Item No. 15 Multi-Purpose A141 Skim Coat Application

- a) Prime and apply a skim coat compound over all existing glazed CMU walls in Multi-Purpose Room A141. Refer to attached specification Section 092513 Acrylic Skim Coat Plastering

Item No. 16 Panel Signage Revisions

- a) Provide credit to eliminate room identification panel signs at the following locations: CITY ENGINEER A166, PLANNING MEETING ROOM A169, PLAN DIRECTORS OFFICE A172, ASSEMBLY A162, ADMIN A176, RECEPTIONIST A102, CONFERENCE A104, WAITING A103, OFFICE A107, ADA UNISEX TOILET A114, ADA UNISEX TOILET A116, MULTI-PURPOSE A141, OFFICE A117, OFFICE A119, OFFICE A136, ADMIN SUPPORT A120, ADMIN SUPPORT A123, TRAINING A127, WATER BILLING STORAGE B101, WATER BILLING WORK ROOM B102, WATER BILLING B105, WATER COUNTER B110, CLERK TREASURER COUNTER B114, CLERK TREASURER BILLING B115, CLERK TREASURER WORK ROOM B118, CLERK TREASURER STORAGE B120.

Attachments:

- G10.1 - CONFERENCE A104 PLAN
- G10.2 - CONFERENCE A104 ELEVATION
- G10.3 - CORRIDOR A111 REMOVAL PLAN
- G10.4 - CORRIDOR A111 PLAN
- G10.5 - CORRIDOR A111 ELEVATION
- G10.6 - CONFERENCE A121 PLAN
- G10.7 - MULTI-PURPOSE PLAN



G10.8 - MULTI-PURPOSE ELEVATION  
G10.9 - BREAK A154 PLAN  
G10.10 - BREAK A154 ELEVATION

P2.1 - UNDERFLOOR PLUMBING INSTALLATION PLAN - UNIT A  
P2.4 - FIRST FLOOR PLUMBING PLAN - UNIT A

M3.1 - HYDRONIC PIPING INSTALLATION PLAN - UNIT A

ED2.1 - FIRST FLOOR AND MEZZANINE POWER & SYSTEMS REMOVAL PLAN - UNIT A  
E2.1 - FIRST FLOOR AND MEZZANINE POWER PLAN - UNIT A  
E2.2 - FIRST FLOOR POWER PLAN - UNIT B  
E3.1 - FIRST FLOOR AND MEZZANINE LIGHTING PLAN - UNIT A  
E4.1 - FIRST FLOOR AND MEZZANINE SYSTEMS PLAN - UNIT A  
E6.1 - LIGHT FIXTURE SCHEDULE  
E7.3 - PANELBOARD SCHEDULES

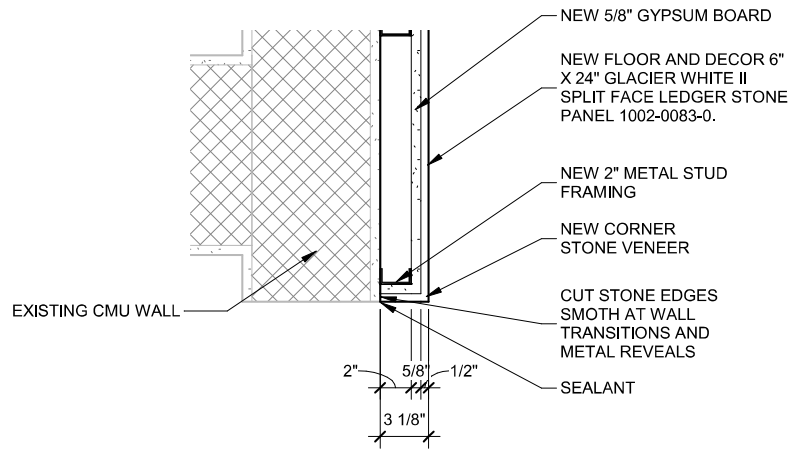
**THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.**

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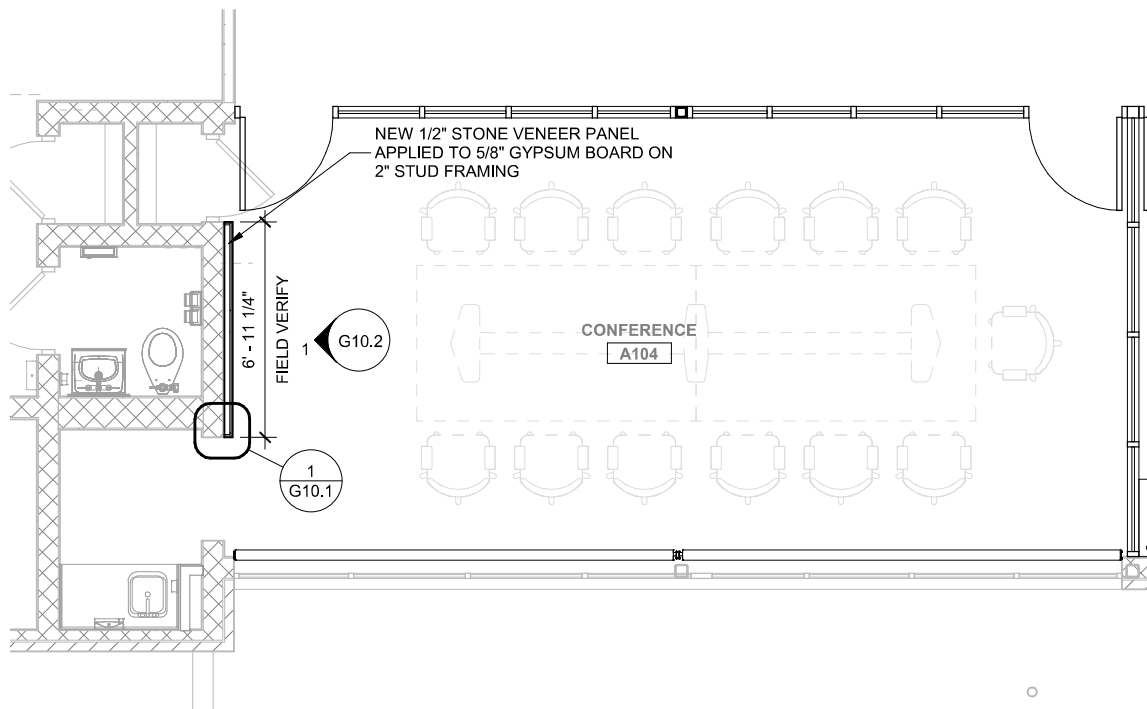
**REQUESTED BY THE ARCHITECT:**

Eric B. Ratts, Principal Architect  
**PRINTED NAME AND TITLE**






**1 CONFERENCE PLAN DETAIL**  
SCALE: 1 1/2" = 1'-0"

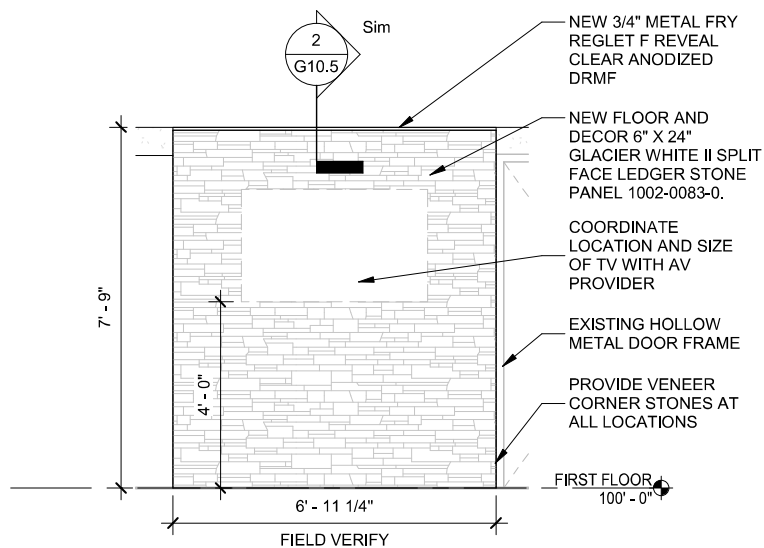


**2 CONFERENCE PLAN - PR008**  
SCALE: 1/4" = 1'-0"  
NORTH

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS


 ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL  CONFERENCE A104 PLAN	REMARKS:	SKETCH NUMBER  <b>G10.1</b>
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL



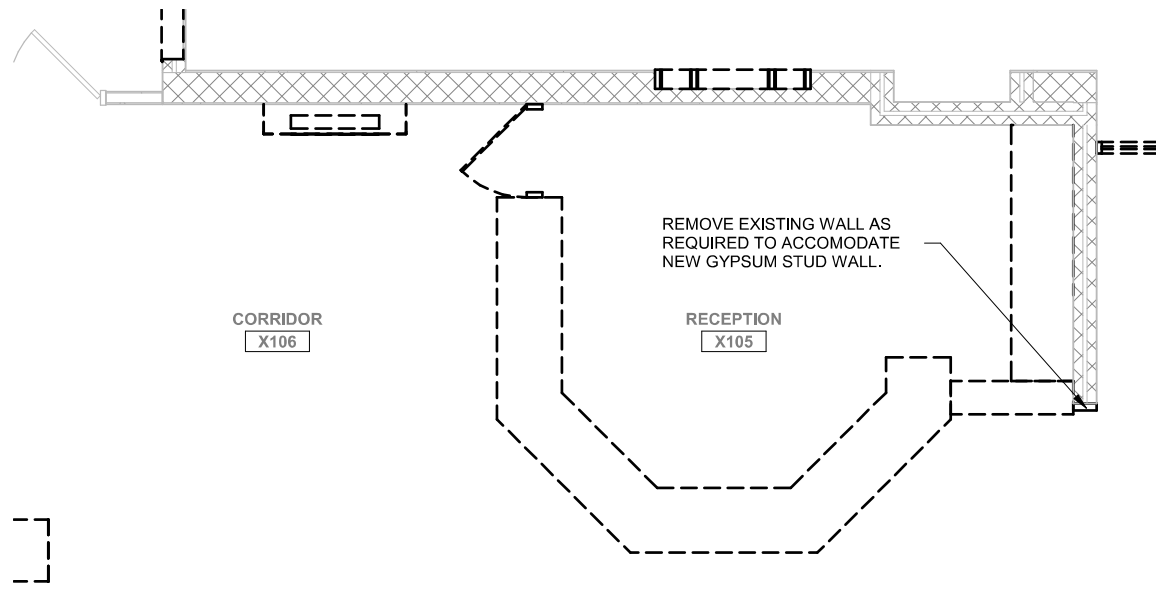


**1 CONFERENCE A104 ELEVATION**  
SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS


 ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL  CONFERENCE A104 ELEVATION	REMARKS:	SKETCH NUMBER
			G10.2
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	
			GENERAL



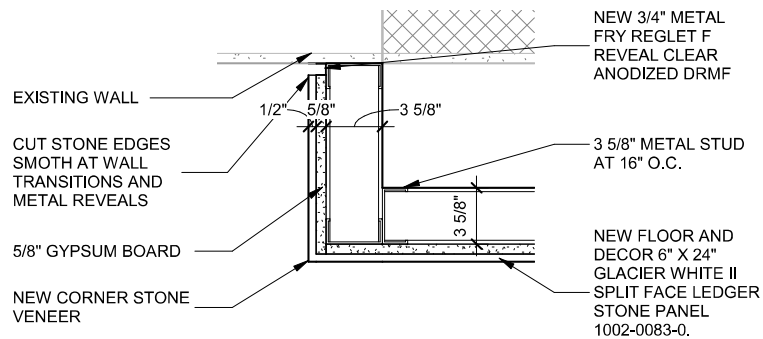


**CORRIDOR A111 PLAN REMOVAL**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD  
 VERIFY ALL CONDITIONS AND  
 DIMENSIONS

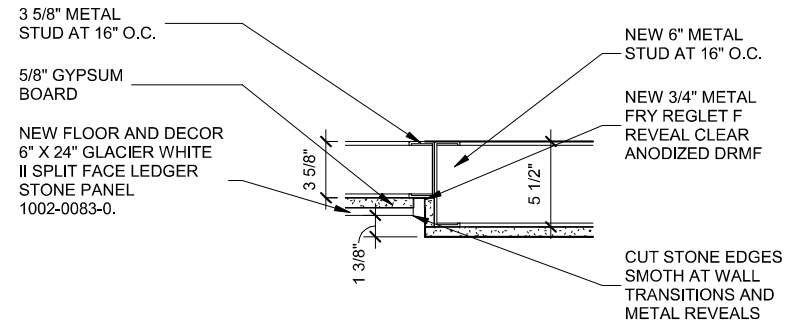
 ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL		REMARKS:	SKETCH NUMBER
	CORRIDOR A111 REMOVAL PLAN			G10.3
			PROJECT NO: 2063-1044-90	
			DATE: 03/31/2021	GENERAL





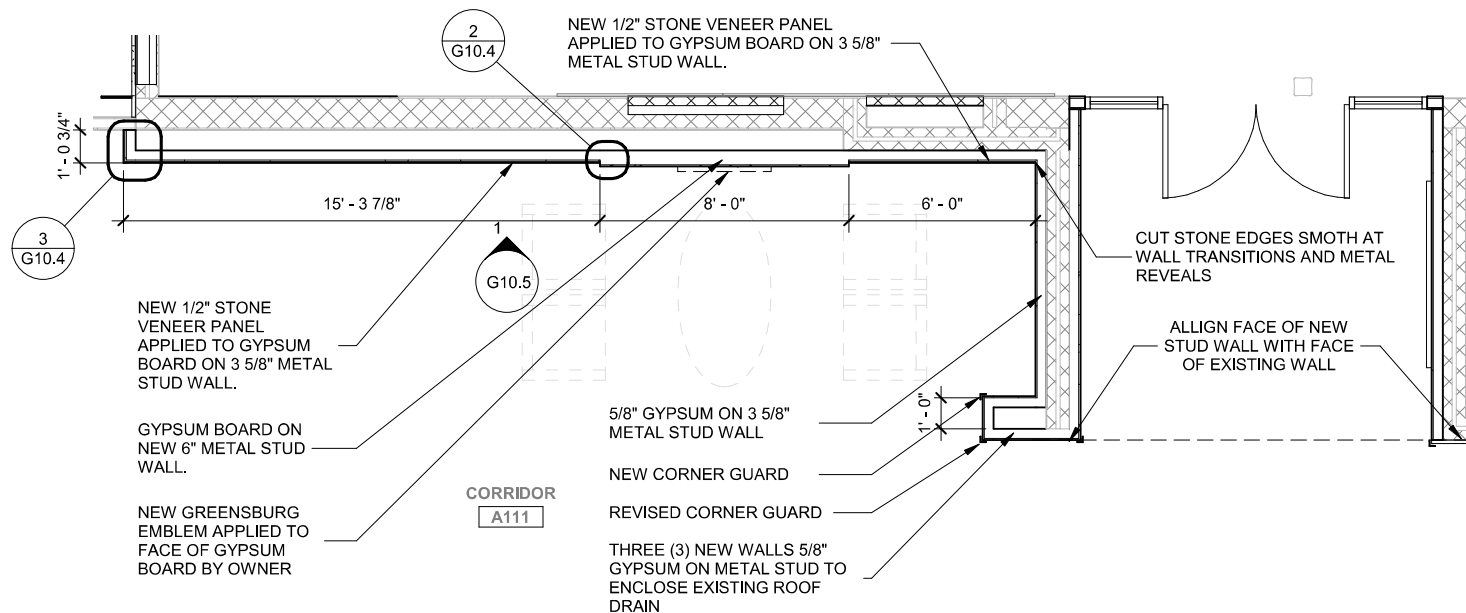
**3 CORRIDOR A111 CORNER DETAIL**

SCALE: 1 1/2" = 1'-0"



**CORRIDOR A111 STONE / GYPSUM BOARD TRANSITION**

SCALE: 1 1/2" = 1'-0"



**1 CORRIDOR A111 PLAN**

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS



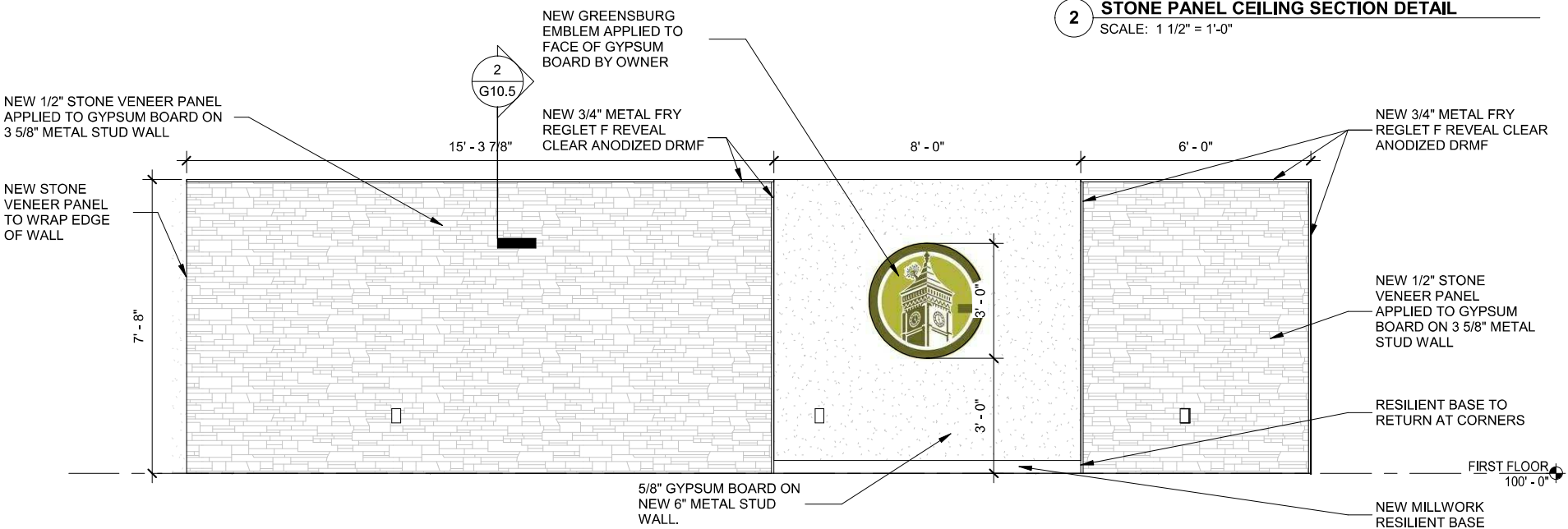
Select DLZ Company

RENOVATION OF THE  
GREENSBURG CITY HALL

CORRIDOR A111 PLAN

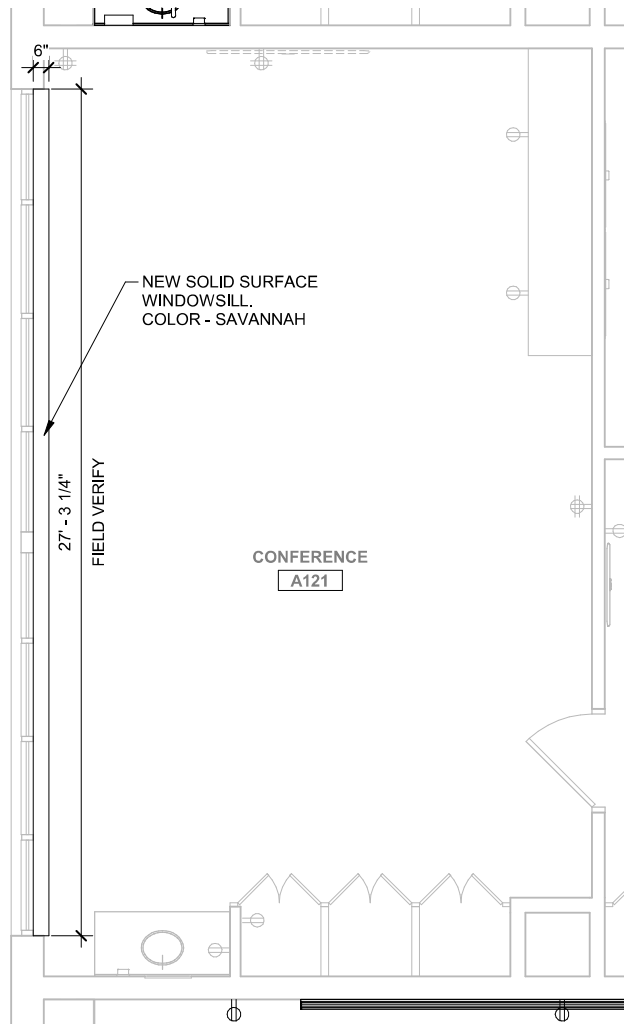
REMARKS:	SKETCH NUMBER
	G10.4
PROJECT NO: 2063-1044-90	
DATE: 03/31/2021	GENERAL






CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS



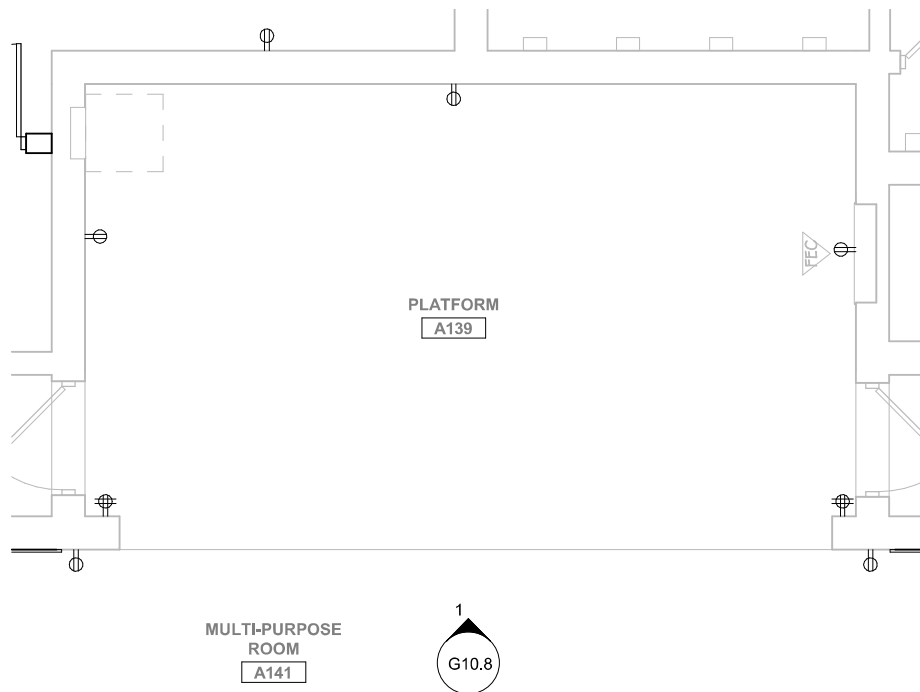


**1 CONFERENCE A121 ENLARGED PLAN**  
SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS


 ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
	CONFERENCE A121 PLAN	PROJECT NO: 2063-1044-90	G10.6
		DATE: 03/31/2021	GENERAL



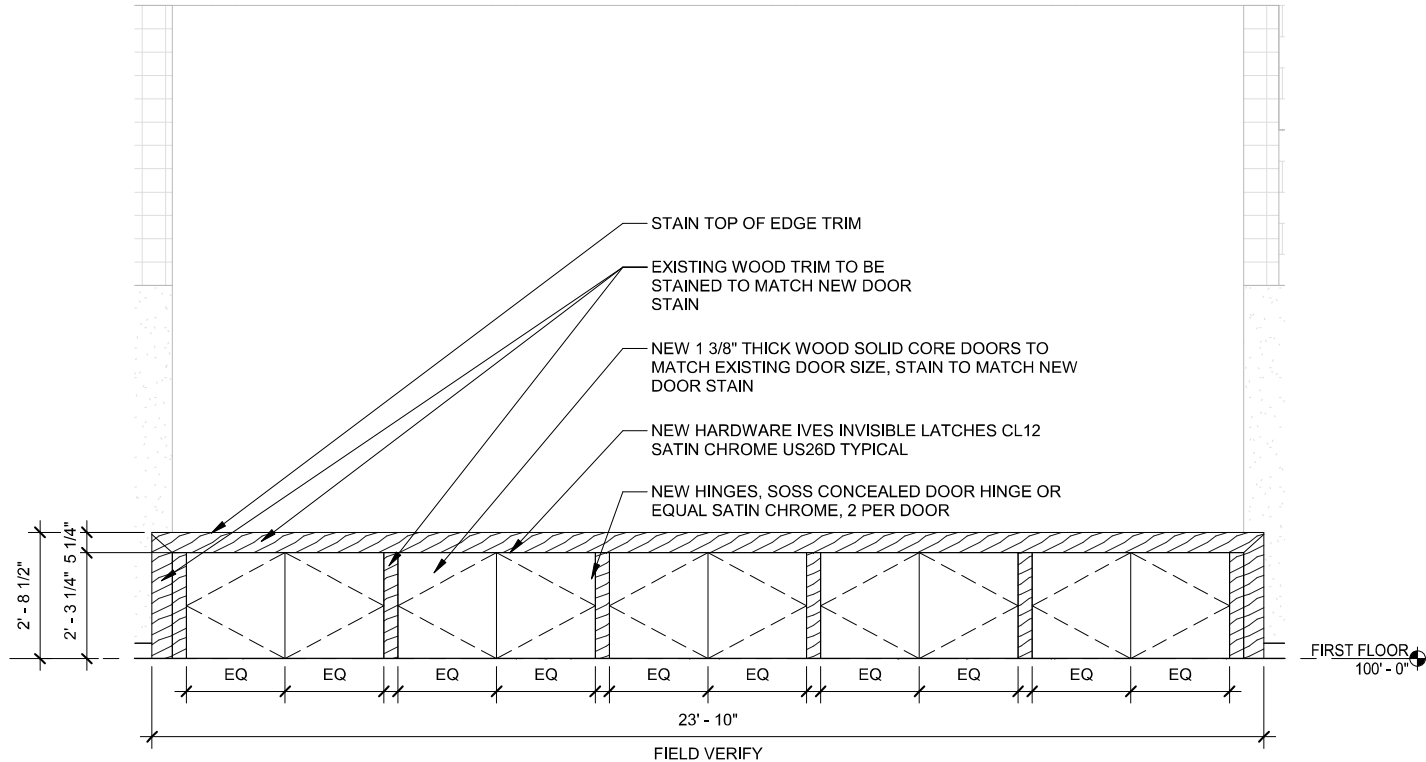



**1 PLATFORM A139 PLAN**  
 SCALE: 1/4" = 1'-0"  
 NORTH

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS

 <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> <small>Select DLZ Company</small>	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
	MULTI-PURPOSE PLAN	PROJECT NO: 2063-1044-90	G10.7
		DATE: 03/31/2021	
			GENERAL





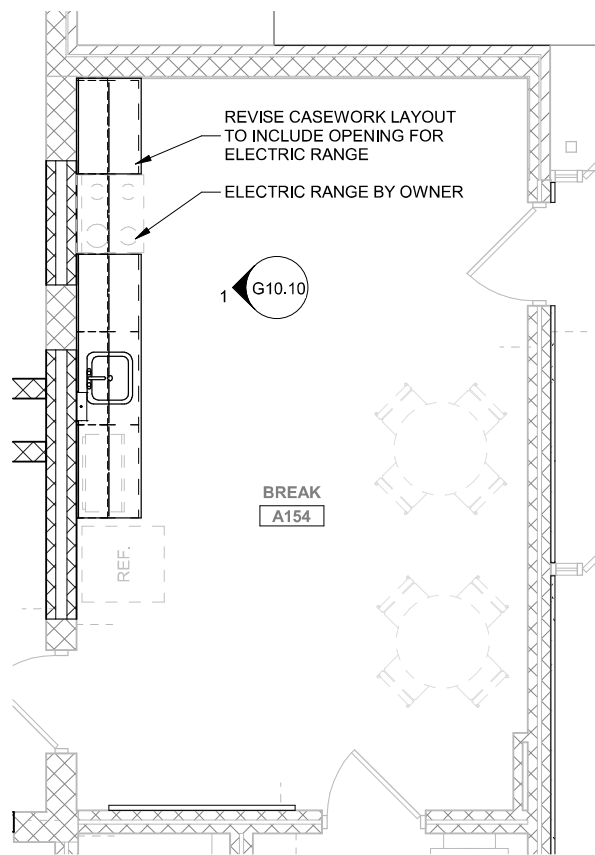
**1 MULTI-PURPOSE ELEVATION**


SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS


<b>DLZ</b> ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL  MULTI-PURPOSE ELEVATION	REMARKS:	SKETCH NUMBER
		PROJECT NO: 2063-1044-90	G10.8
		DATE: 03/31/2021	GENERAL



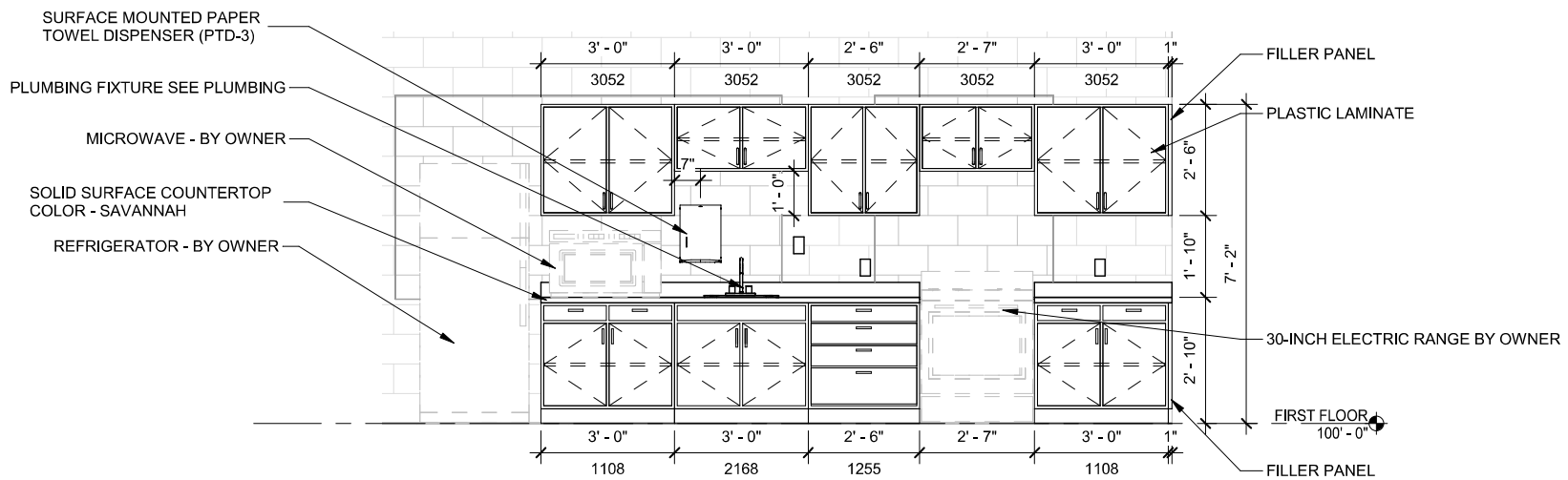



**BREAK A154 PLAN**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS


 <small>ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES</small> <small>Select DLZ Company</small>	RENOVATION OF THE GREENSBURG CITY HALL  BREAK A154 PLAN	REMARKS:	SKETCH NUMBER
			G10.9
		PROJECT NO: 2063-1044-90	
		DATE: 03/31/2021	GENERAL



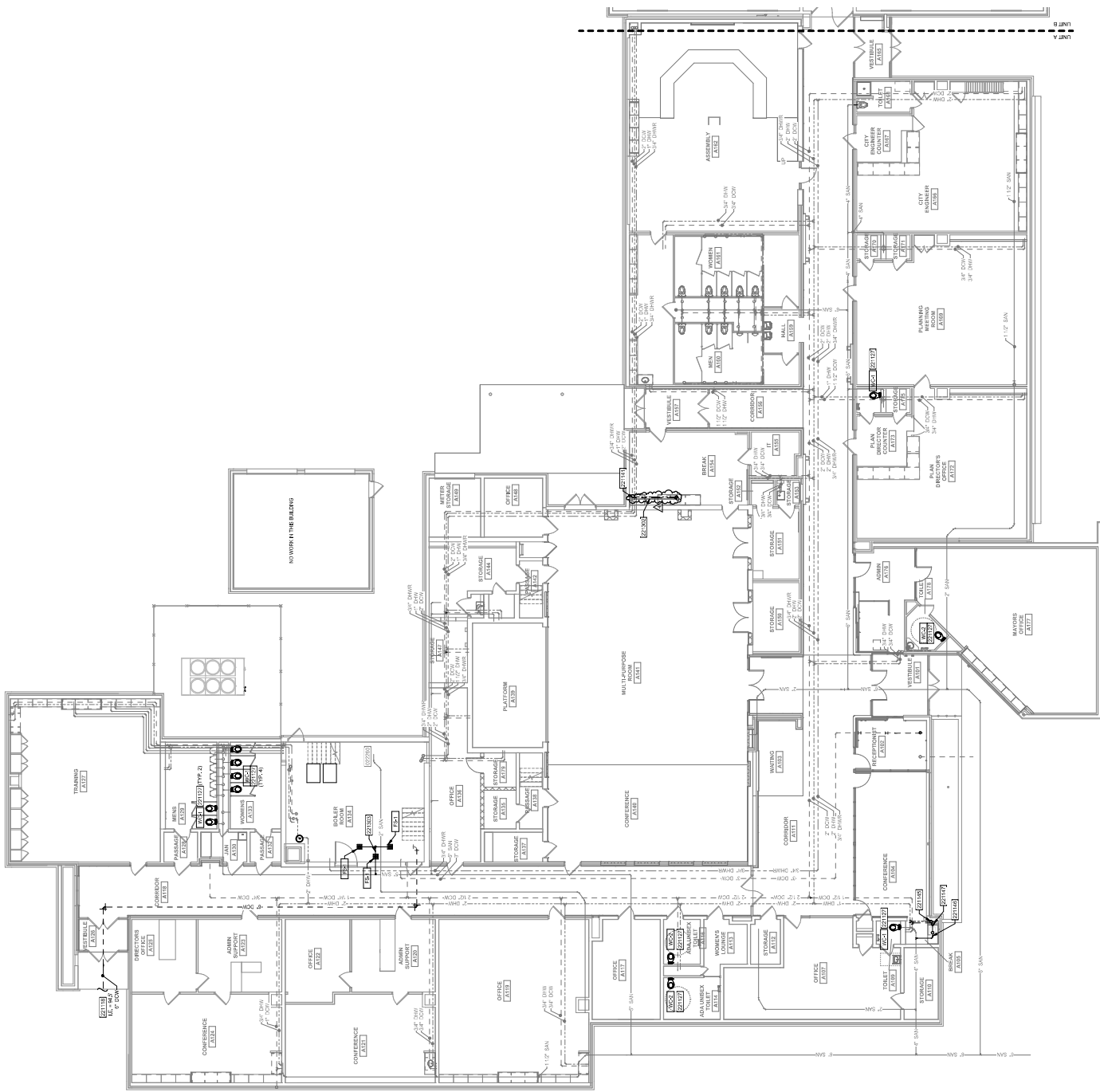


**1 BREAK A154 ELEVATION**  
SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD  
VERIFY ALL CONDITIONS AND  
DIMENSIONS

 ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL  BREAK A154 ELEVATION	REMARKS:	SKETCH NUMBER  G10.10
		PROJECT NO: 2063-1044-90 DATE: 03/31/2021	GENERAL





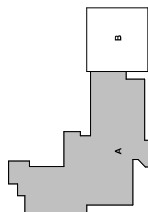
## GENERAL NOTES

4. REFER TO SHEETS P-01 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
5. INSTALL ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.
6. INVERT ELEVATIONS BASED ON 100% OF FINISHED FLOOR ELEVATION TO BOTTOM OF PIPE. STEEL JAIL PLANS ESTABLISH FINISHED FLOOR ELEVATION.
7. COORDINATE ALL PAVING GRACE PAVING WITH STRUCTURAL FOOTING.
8. EXACT LOCATION OF PLUMBING FITURES SHALL BE COORDINATED WITH ARCHITECTURAL PLANS TO MEET ADA REQUIREMENTS.
9. WHERE PIPE SIZE MAY NOT BE INDICATED SERVING A FITURE, PROVIDE SIZES AS INDICATED IN THE PLUMBING DRAWING.

## **KEYNOTES**

- [illegible]

## KEYPLAN



P2.1

## PLUMBING

**GREENSBURG CITY HALL**  
314 WEST WASHINGTON STREET  
GREENSBURG, INDIANA 47240

UNDERFLOOR PLUMBING INSTALLATION PLAN - UNIT A

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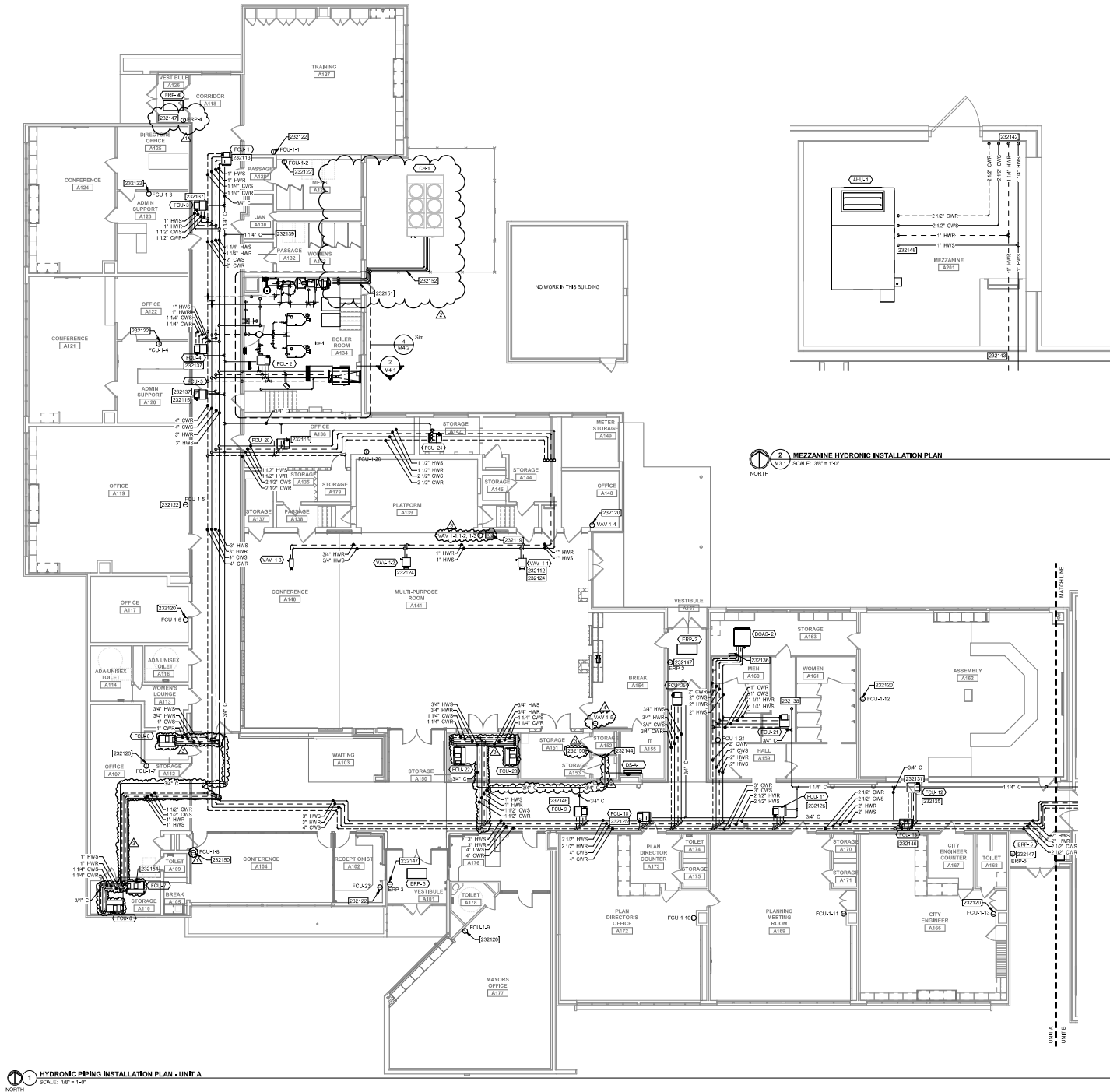
**DLZ**  
ARCHITECTURE • ENGINEERING • PLANNING  
SURVEYING • CONSTRUCTION SERVICES  
DLZ ITALIA LLC





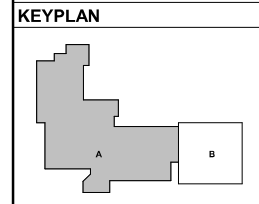


**1 HYDRONIC PIPING INSTALLATION PLAN - UNIT A**  
SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
- REFER TO SHEET M3.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
  - DUCT AND PIPING LAYOUTS ARE SCHEMATIC IN NATURE. PROVIDE ADDITIONAL TRANSITIONS, ELBOWS, OFFSETS AND FITTINGS AS REQUIRED.
  - COORDINATE ANY STRUCTURAL SUPPORTS FOR OPENINGS WITH STRUCTURAL TRADES.
  - COORDINATE WORK WITH OTHER TRADES TO PERMIT ACCESS AND SERVICE CLEARANCES TO ALL SYSTEMS. COORDINATE DUCT LOCATIONS WITH ELECTRICAL JOCKEYS TO PREVENT OBSTRUCTIONS.
  - DO NOT SCALE DRAWINGS FOR DIMENSIONS. REFER TO DIMENSIONED DRAWINGS.
  - REFER TO DETAIL S SHEET FOR ADDITIONAL INFORMATION ON INSTALLATION DETAILS.
  - DERIVED FROM MECHANICAL DESIGN THAT AFFECTS OTHER TRADES ARE THE RESPONSIBILITY OF THIS CONTRACTOR. ADDITIONAL COSTS TO MAKE LARGER ELECTRICAL CIRCUITS, MORE FLOOR SPACE, ADDITIONAL SUPPORTS, ADDITIONAL MATERIALS SHALL BE BORNE BY THE CONTRACTOR. COORDINATE ALL THE WORK WITH OTHER TRADES.

- KEYNOTES**
- 23212 CONNECT HYDRONIC LINES TO VAV BOX AS PER DETAIL M3.1 SHEET, TYP. OF ALL VAV BOXES
  - 23213 CONNECT HYDRONIC LINES TO FOU BOX AS PER DETAIL TMS.1 SHEET, TYP. OF ALL FOU BOXES
  - 23215 3/4" HWS, HWR AND 1-1/4" CWS, CWR SERVING FAN COIL UNIT.
  - 23216 3/4" HWS, HWR AND 3/4" CWS, CWR SERVING FAN COIL UNIT.
  - 23219 PROVIDE CARBON MONOXIDE SENSOR FOR DEMAND CONTROLLED VENTILATION (TYP.). REFER TO CONTROLS SHEET FOR ADDITIONAL INFORMATION.
  - 23220 PROVIDE NEW THERMOSTAT IN PLACE OF EXISTING THERMOSTAT BOX. VERIFY LOCATION ON SITE.
  - 23222 CONTRACTOR TO PROVIDE NEW SURFACE MOUNTED THERMOSTAT. CONTROL WIRING AND SURFACE MOUNTED RACEWAY. REFER TO DIVISION 26 SPEC'S FOR ADDITIONAL INFORMATION.
  - 23224 3/4" HWS AND HWR SERVING VAV BOX.
  - 23225 1" HWS, HWR AND 1-1/4" CWS, CWR SERVING FAN COIL UNIT.
  - 23236 PROVIDE NEW TEMPERATURE CONTROL PANEL.
  - 23237 3/4" CONDENSATE LINE SERVING FAN COIL UNIT.
  - 23238 ROUTE 1-1/4" CONDENSATE DOWN TO FLOOR DRAIN IN CHASE. VERIFY LOCATION ON SITE.
  - 23239 ROUTE 1-1/4" CONDENSATE LINE DOWN TO MOP SINK.
  - 23242 HYDRONIC LINES FROM FLOOR BELOW.
  - 23243 REFER TO M3.1 FOR CONTINUATION.
  - 23244 3/4" CONDENSATE LINE FROM DUCTLESS SPLIT UNIT DOWN TO MOP SINK.
  - 23246 1-1/4" HWS, HWS, CWS, CWR SERVING FAN COIL UNIT.
  - 23247 CONNECT THERMOSTAT TO RADIANT HEATING PANEL WITH SURFACE MOUNTED WIRE.
  - 23248 ROUTE CONDENSATE LINE FROM AIR-HANDLING UNIT TO NEAREST DRAIN AS PER MANUFACTURER'S SPECIFICATIONS. SLOPE THE LINE IN DIRECTION OF THE DRAIN.
  - 23250 CONTRACTOR TO PROVIDE NEW SURFACE MOUNTED THERMOSTAT. CONTROL WIRING AND SURFACE MOUNTED RACEWAY. COORDINATE EXACT LOCATION OF THERMOSTAT WITH TV ON THE SITE. REFER TO DIVISION 26 SPEC'S FOR ADDITIONAL INFORMATION.
  - 23251 CONNECT REFRIGERANT SUCTION AND LIQUID LINES FROM CHILLER TO REMOTE EVAPORATOR. ROUTE IT AT THE LOCATION OF THE REMOTE GAS OVERHEAD. STACK UP THE REFRIGERANT LINES TO ALLOW FOR WALL PENETRATION IF NEEDED. COORDINATE ROUTING WITH EXISTING EQUIPMENT ON SITE. SIZE AND INSTALL LINES AS PER MANUFACTURER'S RECOMMENDATIONS.
  - 23252 ROUTE REFRIGERANT LINES AS CLOSE TO THE FENCE AS POSSIBLE. STACK UP THE REFRIGERANT LINES IF NEEDED. COORDINATE ROUTING WITH EXISTING GAS EQUIPMENT AND PIPING ON THE SITE FOR FUTURE ACCESSIBILITY. SIZE AND INSTALL LINES AS PER MANUFACTURER'S RECOMMENDATIONS.
  - 23254 3/4" HWS, HWR AND 1-1/4" CWS AND CWR DOWN TO FOU
  - 23255 3/4" CONDENSATE LINE DOWN TO MOP SINK



DATE	REVISION	BY	CHKD	APP'D
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PROJECT NUMBER: 2063-1044-90

RENOVATION OF THE GREENSBURG CITY HALL  
GREENSBURG, INDIANA 47240

HYDRONIC PIPING INSTALLATION PLAN - UNIT A

DRAWING NUMBER: M3.1

MECHANICAL



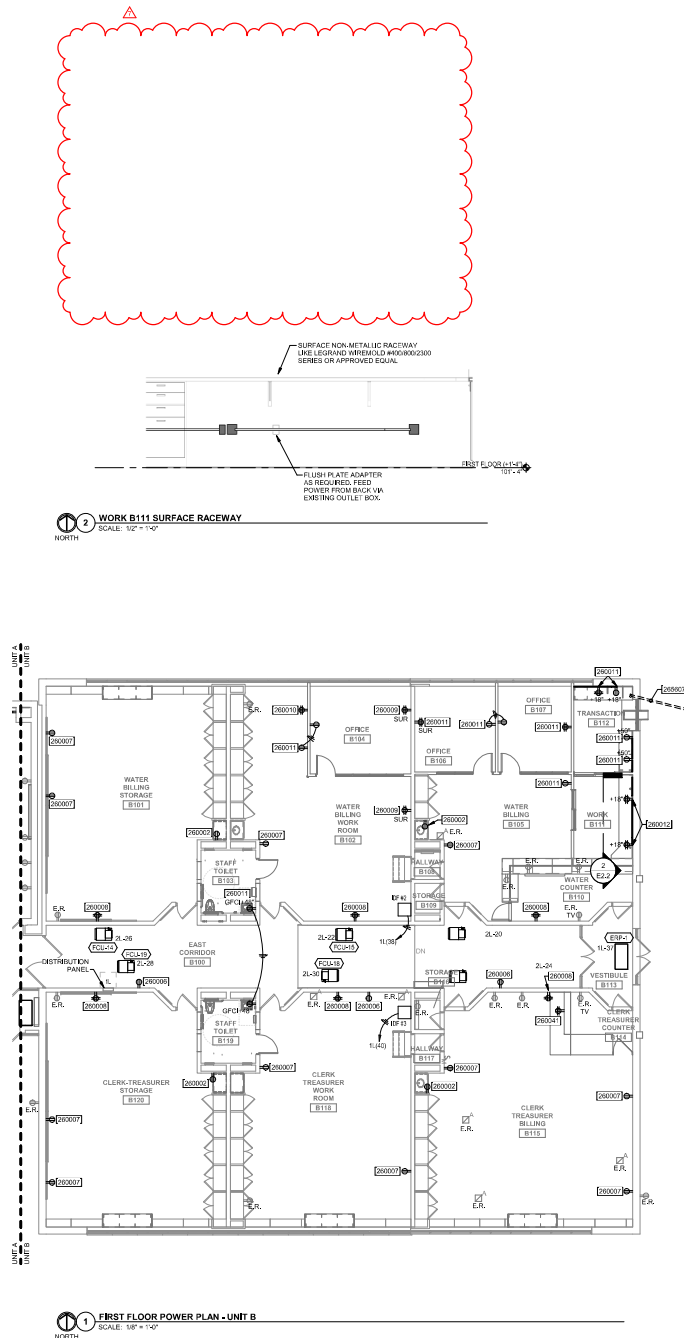


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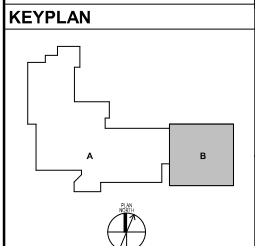
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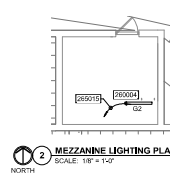
- GENERAL NOTES:**
- A. REFER TO SHEETS G1.2, G1.3, E1.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
  - B. MINIMUM ROOF PENETRATIONS, ROOF SEALANTS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION (FIELD COORDINATES).
  - C. FOR PANELBOARD SCHEDULES, SEE DRAWINGS E7.3, E7.4 AND E7.4.
  - D. SEE MECHANICAL EQUIPMENT - ELECTRICAL CONNECTION SCHEDULE ON DRAWING E1.2 FOR EQUIPMENT CIRCUITING AND ADDITIONAL ELECTRICAL REQUIREMENTS FOR MECHANICAL EQUIPMENT (E.E. DISCONNECT, STARTER, ETC.) AND LOAD INFORMATION.
  - E. ALL EXISTING SURFACE MOUNTED RACEWAY WITH DEVICES TO REMAIN ON WALLS RECEIVING NEW FINISHES SHALL BE PAINTED TO MATCH NEW FINISH.
  - F. NEW WIRING DEVICES ON EXISTING WALL TO BE SURFACE MOUNTED UNLESS OTHERWISE NOTED. RACEWAY AND RACEWAY ACCESSORIES SHALL BE LOW PROFILE, NON-METALLIC RACEWAY (HUBBELL 400002300 SERIES OR APPROVED EQUAL FROM HUBBELL OR EQUIVALENT). ALL RACEWAYS SHALL BE LEGARAND WIREMOLD 400002300 SERIES OR APPROVED EQUAL FROM HUBBELL OR EQUIVALENT. OTHERWISE NOTED, INSTALL IN A NEAT AND WORKMANLIKE MANNER TO MINIMIZE BENDS, ELBOWS, ETC. PAINT RACEWAYS TO MATCH WALL FINISH COLOR.
  - G. CONTRACTOR AND ARCHITECT SHALL A PRE-INSTALLATION CONFERENCE TO REVIEW ROUTINGS OF ALL NEW SURFACE RACEWAYS IN BUILDING, DO NOT PROCEED WITH INSTALLATION WITHOUT WRITTEN ARCHITECT APPROVAL.
  - H. FOR REMOVED WIRING DEVICES, ETC. PROVIDE BLANK FACEPLATE TO COVER OPENING. FACEPLATE SHALL BE PAINTED TO MATCH ADJACENT WALL FINISH COLOR.

- KEYNOTES**
- 260002 FURNISH AND INSTALL ONE (1) 25A, 120V DUPLEX RECEPTACLE IN EXISTING BOX. PROVIDE NEW COVER PLATE. CONNECT TO EXISTING CIRCUIT. MODIFY AND EXTEND AS NEEDED.
  - 260005 FURNISH AND INSTALL ONE (1) 25A, 120V DUPLEX RECEPTACLE IN EXISTING SURFACE MOUNTED BOX. FURNISH WITH NEW COVER PLATE. CONNECT TO EXISTING CIRCUITRY AS NEEDED.
  - 260007 FURNISH AND INSTALL ONE (1) 25A, 120V DUPLEX RECEPTACLE IN EXISTING RECESSED MOUNTED BOX. FURNISH WITH NEW COVER PLATE. CONNECT TO EXISTING CIRCUITRY AS NEEDED.
  - 260008 FURNISH AND INSTALL ONE (1) 25A, 120V QUAD RECEPTACLE IN EXISTING RECESSED MOUNTED BOX. FURNISH WITH NEW COVER PLATE. CONNECT TO EXISTING CIRCUITRY AS NEEDED.
  - 260009 FURNISH AND INSTALL NEW QUAD RECEPTACLE IN SURFACE MOUNTED BOX OVER EXISTING DUPLEX RECEPTACLE BACK BOX. CONNECT TO EXISTING REMOVED RECEPTACLE CIRCUIT AS NEEDED.
  - 260010 CONNECT NEW DEVICES TO SAME CIRCUIT AS EXISTING REMOVED SURFACE MOUNTED QUAD RECEPTACLE. REFER TO KEYNOTE 260081 ON DRAWING E02.2.
  - 260011 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED POWER POLE. MODIFY AND EXTEND CIRCUIT AS NEEDED TO NEW DEVICE. REFERENCE KEYNOTE 260081 ON SHEET E02.2.
  - 260012 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED RECEPTACLE. MODIFY AND EXTEND CIRCUITRY AS NEEDED VIA SURFACE RACEWAY.
  - 260041 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED ROOMAREA RECEPTACLES. MODIFY AND EXTEND AS NEEDED.
  - 260067 PROVIDE (1) 2" FC FOR COMMUNICATIONS AND (1) 2" FC FOR POWER (SLUNG) INTO MIDDLE OF RE AND FOR FUTURE. NIGHT DEPOSIT BOX. STUB UP CONDUITS FLUSH WITH GRADE. CAP BOTH ENDS AND PROVIDE FULL STRING IN CONDUITS AND MARK TAPE OVER CONDUITS. FLAG LOCATIONS AND RECORD ON RECORD DRAWINGS. STUB UP CONDUITS AT REF IN TRANSACTION 46112 BELOW COUNTER (ADJACENT TO DRINK UP WINDOWS).

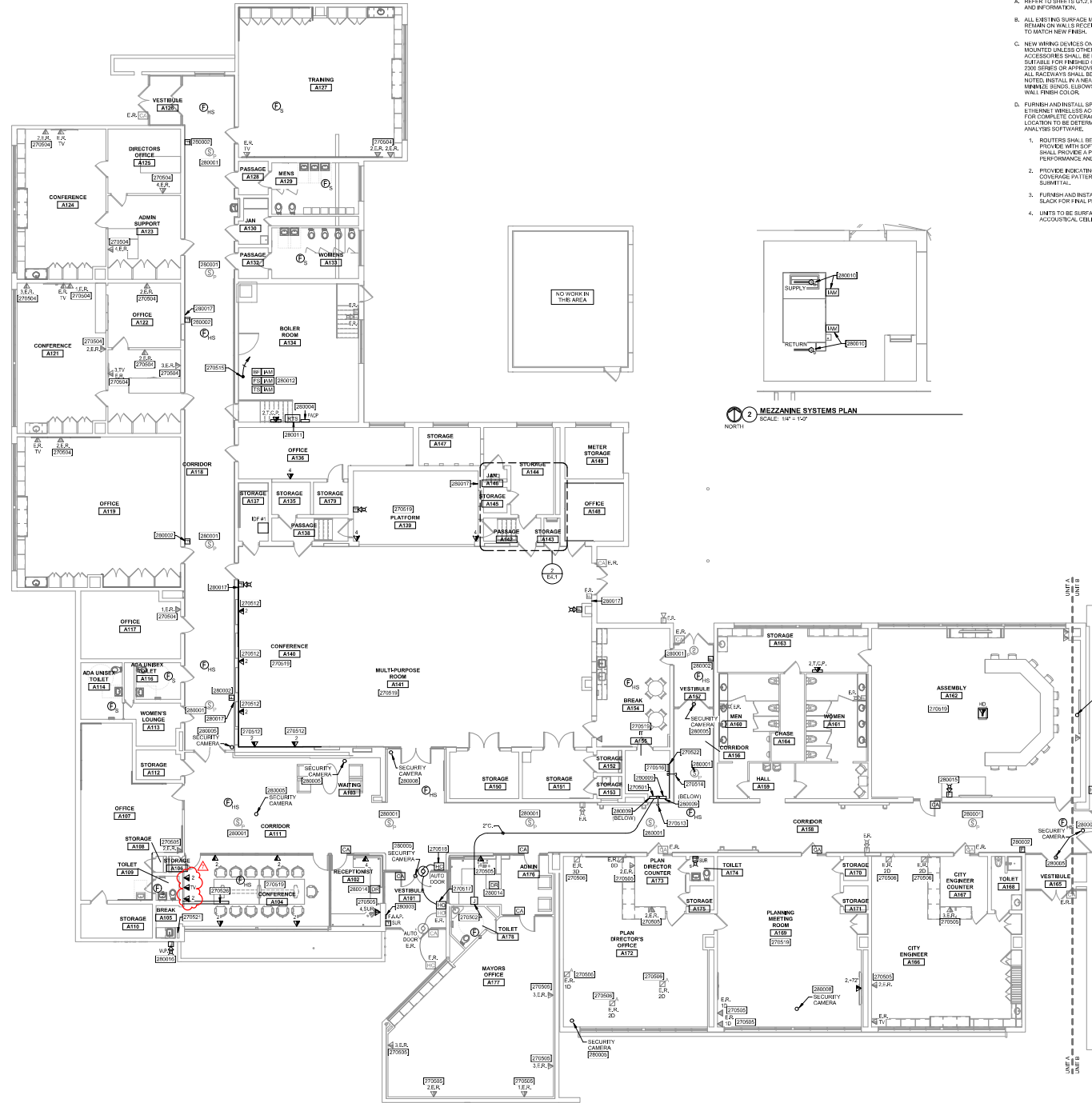


<b>PLZ</b> ARCHITECTURE • ENGINEERING • PLANNING SURVEYING • CONSTRUCTION SERVICES COLUMBIANA, OH	
DATE: 03/19/2021 BY: JPLC CHECKED: JPLC DATE: 03/19/2021 BY: JPLC CHECKED: JPLC DATE: 03/19/2021 BY: JPLC CHECKED: JPLC	
PROJECT NAME: GREENSBURG CITY HALL RENOVATION PROJECT NUMBER: 20683-1044-90	PROJECT NAME: GREENSBURG CITY HALL RENOVATION PROJECT NUMBER: 20683-1044-90
GREENSBURG CITY HALL RENOVATION OF THE 314 N. MAIN STREET GREENSBURG, INDIANA 47240	
FIRST FLOOR POWER PLAN - UNIT B	
DRAWING NUMBER: E2.2	
ELECTRICAL	









1 FIRST FLOOR SYSTEMS PLAN - UNIT A  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES:

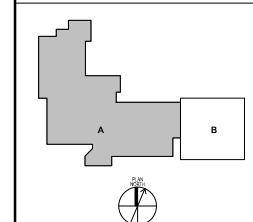
- REFER TO SHEETS G1.2, E01.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
- ALL EXISTING SURFACE MOUNTED RACEWAY WITH DRUMS REMAIN ON WALLS RELOCATED NEW FINISHES SHALL BE PAINTED TO MATCH NEW FINISH.
- NEW WIRING DEVICES ON EXISTING WALL TO BE SURFACE MOUNTED UNLESS OTHERWISE NOTED. RACEWAY AND RACEWAY ACCESSORIES SHALL BE LOW PROFILE, NONMETALLIC, RACEWAY SUITABLE FOR FINISHED OFFICE AREAS (IE, LEGRANDE/WRMOLD CONDUIT OR APPROVED EQUAL FROM HUBBELL, OR PASADENA). ALL RACEWAYS SHALL BE SET FROM ABOVE UNLESS OTHERWISE NOTED. INSTALL IN A VENT AND WORKABLE FINISHES TO MATCH MINOR, BENDS, ELBOWS, ETC. PAINT RACEWAYS TO MATCH WALL FINISH COLOR.
- FURNISH AND INSTALL SPECIFICATION GRADE POWER OVER ETHERNET WIRELESS ACCESS POINT W/UP INDOORS AS NEEDED FOR COMPLETE COVERAGE OF BUILDING. QUANTITY AND LOCATION TO BE DETERMINED BY VENDOR USING PREDICTIVE ANALYSIS SOFTWARE.
  - ROUTERS SHALL BE BY NETGEAR, RUCKUS OR CISCO. PROVIDE WITH SOFTWARE AND CONTROLLER. VENDOR SHALL PROVIDE A PREDICTIVE ANALYSIS OF WIRELESS PERFORMANCE AND WIRELESS ROUTING.
  - PROVIDE INDICATING PREDICTIVE TRAFFIC/AVERAGE AND COVERAGE PATTERNS AS PART OF THE SHOP DRAWING SUBMITTAL.
  - FURNISH AND INSTALL 12 CAT 6 DATA CABLES WITH 12' OF BLACK FOR FINAL PACKAGING OF HARDWARE.
  - LIMITS TO BE SURFACE MOUNTED ON BOTTOM OF ACoustICAL CEILING OR STRUCTURE.

2 MEZZANINE SYSTEMS PLAN  
SCALE: 1/8" = 1'-0"

## KEYNOTES

- REINSTALL EXISTING CCTV ENCLOSURE WITH DISTRIBUTION AMP/PLUG MOUNT WITH 1/4" AIR GAP. REFER TO KEYNOTE 270501 ON DRAWING E01.1 FOR MORE INFORMATION.
- FURNISH AND INSTALL 1/2" ECTV JUNCTION BOX ABOVE CEILING ON WALL TO SUPPORT EXISTING TV CABLES. FURNISH WITH ONE 1/2" ECTV JUNCTION BOX AND 1/2" ECTV CABLES. FURNISH AND EXTEND EXISTING CABLES AS NEEDED TO NEW ENCLOSURE.
- FURNISH AND INSTALL NEW GATE CABLES AND ASSOCIATED JACKS IN EXISTING COMMUNICATIONS CLOSET. FURNISH INDICATORS TO NUMBER OF JACKS/CABLES TO BE PROVIDED. ROUTE CABLES TO NEW OFFICE CLOSET AREA.
- FURNISH AND INSTALL NEW GATE CABLES AND ASSOCIATED JACKS IN EXISTING COMMUNICATIONS CLOSET. FURNISH INDICATORS TO NUMBER OF JACKS/CABLES TO BE PROVIDED. ROUTE CABLES TO NEW OFFICE CLOSET AREA.
- FURNISH AND INSTALL NEW GATE CABLES AND ASSOCIATED JACKS IN EXISTING COMMUNICATIONS CLOSET. FURNISH INDICATORS TO NUMBER OF JACKS/CABLES TO BE PROVIDED. ROUTE CABLES TO NEW OFFICE CLOSET AREA.
- NEW DEVICES TO BE INSTALLED IN NONMETALLIC, LOW PROFILE MULTIPURPOSE WALL MOUNTED RACEWAY. REFER TO KEYNOTE 270502 ON DRAWING E2.1.
- CORE DRILL FOUR 1/4" SLEEVES THRU WALL ABOVE ACCESSIBLE CEILING AND NEW COMMUNICATION CABLES. MOUNT WITH A SERVICE CLIP TO CLIMB RACEWAYS.
- CORE DRILL THREE 3/4" SLEEVES THRU WALL ABOVE ACCESSIBLE CEILING FOR NEW COMMUNICATION CABLES. MOUNT WITH A SERVICE CLIP TO CLIMB RACEWAYS.
- ROOM WATER SERVICE TO MAIN GROUND BUS BAR. USE 1/4" AWG GREEN/INSULATED GROUNDING ELECTRODE CABLE. REFER TO SERVICE EXISTING ELECTRODE SYSTEM SCHEMATIC DETAIL 42 ON SHEET E2.1.
- GROUND BUS BAR NO. 2 MOUNT AT 4'-0" AFF. REFER TO TEL-CAN EQUIPMENT CIRCULATING DETAIL 47, SHEET E2.1.
- POST 1/4" MAIN GROUND BUS BAR IN BOILER ROOM. USE 1/4" AWG COPPER GREEN/INSULATED CABLE. ROUTE TO BOILER ROOM MAIN GROUND BUS BAR.
- INSTALL EXISTING AUTOMATIC DOOR OPENER PUSHBUTTON. WIRE TO AUTO DOOR OPENER. REFER TO RECOMMENDATION, FIELD VERIFY EXACT LOCATION OF DOOR AND PUSHBUTTONS.
- NEW AUTO DOOR OPENER. PUSHBUTTON BY MANUFACTURER. WIRE PER MANUFACTURER'S RECOMMENDATION. COORDINATE EXACT LOCATION BEFORE ROUGHING.
- REINSTALL EXISTING MULTIMEDIA INSTALLATION NOTES ON SHEET 642 FOR ROOM A100 REQUIREMENTS.
- NEW FIBER SERVICE TO BE ROUTED UP CHASE TO ABOVE ACCESSIBLE CEILING. ROUTE AND ABOVE ACCESSIBLE CEILING TO ITT RAIN.
- FURNISH AND INSTALL 6" X 3/4" FIRE RETARDANT PLYWOOD ON WALL FOR COMMUNICATION SERVICE EQUIPMENT. MOUNT ON CHASE/STAIRING GRADE. FIRE RETARDANT PLYWOOD TO MATCH ADJACENT WALL FINISH.
- SURFACE RACEWAY PROVIDED BY AUDIO/VIDEO SYSTEM PROVIDER. FURNISH AND INSTALL TWO (2) CAT 6 CABLES AND JACKS IN RACEWAY. FIELD VERIFY EXACT LOCATION OF RACEWAY.
- REINSTALL EXISTING CEILING MOUNTED SMOKE DETECTOR IN NEW CEILING. VERIFY AND EXTEND CABLES AS NEEDED TO NEW LOCATION.
- REINSTALL EXISTING FIRE ALARM MANUAL PULL STATION. PROVIDE EXTENSION RING OVER EXISTING BACK BOX TO MAKE IT PUSH WITH WALL. VERIFY AND EXTEND EXISTING WIRING AS NEEDED TO NEW DEVICE LOCATION.
- NEW FIRE ALARM MANUATOR PANEL (P.A.P.). PANEL TO BE SURFACE MOUNTED. PROVIDE CONNECTION PER MANUFACTURER'S RECOMMENDATION TO FIRE ALARM CONTROL (P.A.C.P.) IN BOILER ROOM A104.
- FURNISH AND INSTALL NEW FIRE ALARM CONTROL PANEL (P.A.C.P.) IN SAME LOCATION AS EXISTING. REFER TO SPECIFICATIONS FOR MORE DETAIL OF OPERATION. VERIFY AND EXTEND EXISTING WIRING/CIRCUITRY AS NEEDED TO NEW PANEL.
- REINSTALL EXISTING SURFACE MOUNTED SECURITY CAMERA ON NEW CEILING. VERIFY AND EXTEND CABLES AS NEEDED TO NEW LOCATION. COORDINATE FINAL LOCATION WITH OWNER.
- RELOCATED EXISTING CEILING MOUNTED SECURITY CAMERA. VERIFY AND EXTEND CABLES AS NEEDED TO NEW LOCATION. COORDINATE FINAL LOCATION WITH OWNER.
- REINSTALL EXISTING ACCESS CONTROL PANELS ON WALL. VERIFY AND EXTEND CABLES AS NEEDED TO NEW LOCATION. REFERENCE KEYNOTE 270503 ON DRAWING E2.1.
- ADDRESSABLE DETECT DETECTOR FURNISHED AND INSTALLED BY HVAC EQUIPMENT SUPPLIER. FURNISH AND INSTALL ONE (1) 1/4" INDOOR AS NEEDED FOR INTERCOMING SHUTDOWN CONTROL OF AIR HANDLING UNIT. LAMP/DUCT SMOKE DETECTOR. LOCATION: REMOTE TEST STATION FOR EACH AIR HANDLING UNIT IN BOILER ROOM A104. REFER TO DRAWING E4.1, FIELD COORDINATE PRIOR TO CONSTRUCTION. EXACT QUANTITY OF DETECTORS.
- REMOTE TEST STATIONS FOR AIR HANDLING UNIT IN MEZZANINE FOR INTERCOMING SHUTDOWN INDICATION AND TESTING OF AIR HANDLING UNIT. PROVIDE DETECTOR DETECTION. REFER DETAIL 42 FOR DETECTOR LOCATION. MOUNT ON WALL NEAR FIRE ALARM CONTROL PANEL. FIELD COORDINATE EXACT LOCATION.
- ALTERNATE AND PROVIDE FLOW MONITOR SWITCH, TAMPER SWITCH AND LOW VOLTAGE MONITOR SWITCH FOR EACH ZONE REQUIREMENTS.
- DOOR RELEASE BUTTON FOR DOOR A104-104. WIRE PER MANUFACTURER'S RECOMMENDATION. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- NEW FIRE ALARM CONTROL PANEL. CONNECT TO SAME WIRING AS EXISTING REMOVED DEVICE.
- ALTERNATE BOUNDING ALARM HORN/STROBE TO ACTIVATE WHEN WATER IS FLOWING IN SPRINKLER SYSTEM. FIELD LOCATE EXISTING HORN/STROBE SO THAT IT IS RELOCATED. ABLE TO THE APPROXIMATE FIRE FIGHTER. REFER TO THE FIRE FIGHTER ROAD, OR HIGHWAY AND PUBLIC ENTRY WAY. REFER TO BOUNDING RELEASE LOCATION IS ACCEPTABLE TO AHP PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL OVERHEAD COVER OVER EXISTING FIRE ALARM HORN/STROBE. PAINT TO MATCH ADJACENT FINISH.

## KEYPLAN



**EDLZ**  
 ARCHITECTURE • ENGINEERING • PLANNING  
 SURVEYING • CONSTRUCTION SERVICES  
 GREENSBURG, IN

DATE	REVISION	BY	CHKD	DATE
11/17/2020	1	A. JACOBSON		11/17/2020
11/17/2020	2	A. JACOBSON		11/17/2020
11/17/2020	3	A. JACOBSON		11/17/2020
11/17/2020	4	A. JACOBSON		11/17/2020
11/17/2020	5	A. JACOBSON		11/17/2020

GREENSBURG CITY HALL  
 RENOVATION OF THE  
 GREENSBURG CITY HALL  
 GREENSBURG, INDIANA 47240

PROJECT NUMBER  
**2063-1044-90**

DRAWING NUMBER  
**E4.1**

ELECTRICAL

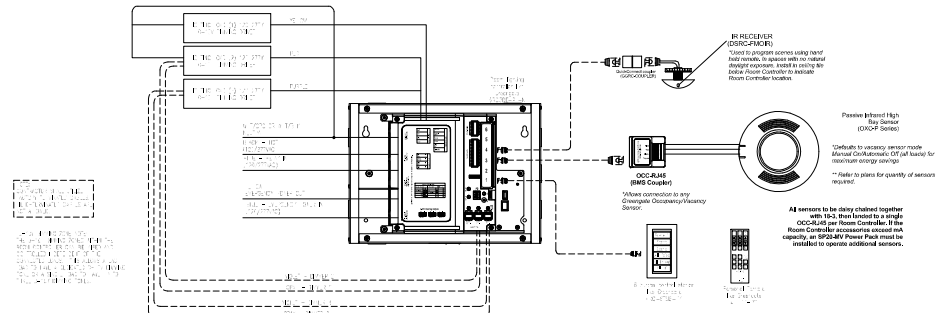


LIGHTING FIXTURE SCHEDULE									
TYPE	LAMP	WATTAGE	VOLTS	DESCRIPTION		BASIS OF DESIGN		EQUAL MANUFACTURER	COMMENTS
A1	LED	24 W	120V	2x4' LED SPECIFICATION GRADE BASKET STYLE TROFFER, 3657 LUMENS, 32.5W, 3500K COLOR, 80 CRI, 120-277V DRIVER, RIBBED FROSTED ACRYLIC LENS WITH EARTHQUAKE CLIPS.		COOPER METALLUX 24C22-36-48-48V-48S-DS-C22-EDQJL4P4K		ACCTY BRANDS LITHONIA 28L 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING LCAT4 SERIES AS AN APPROVED EQUAL
A2	LED	29 W	120V	2x4' LED SPECIFICATION GRADE BASKET STYLE TROFFER, 4519 LUMENS, 32.5W, 3500K COLOR, 80 CRI, 120-277V DRIVER, RIBBED FROSTED ACRYLIC LENS WITH EARTHQUAKE CLIPS.		COOPER METALLUX 24C22-36-48-48V-48S-DS-C22-EDQJL4P4K		ACCTY BRANDS LITHONIA 28L 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING LCAT4 SERIES AS AN APPROVED EQUAL
A3	LED	33 W	120V	2x4' LED SPECIFICATION GRADE BASKET STYLE TROFFER, 4519 LUMENS, 32.5W, 3500K COLOR, 80 CRI, 120-277V DRIVER, RIBBED FROSTED ACRYLIC LENS WITH EARTHQUAKE CLIPS.		COOPER METALLUX 24C22-36-48-48V-48S-DS-C22-EDQJL4P4K		ACCTY BRANDS LITHONIA 28L 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING LCAT4 SERIES AS AN APPROVED EQUAL
A4	LED	35 W	120V	2x4' LED SPECIFICATION GRADE BASKET STYLE TROFFER, 4519 LUMENS, 32.5W, 3500K COLOR, 80 CRI, 120-277V DRIVER, RIBBED FROSTED ACRYLIC LENS WITH EARTHQUAKE CLIPS.		COOPER METALLUX 24C22-36-48-48V-48S-DS-C22-EDQJL4P4K		ACCTY BRANDS LITHONIA 28L 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING LCAT4 SERIES AS AN APPROVED EQUAL
B1	LED	21 W	120V	2x2' LED SPECIFICATION GRADE BASKET STYLE TROFFER, 2467 LUMENS, 21.1W, 3500K COLOR, 80 CRI, 120-277V DRIVER, RIBBED FROSTED ACRYLIC LENS WITH EARTHQUAKE CLIPS.		COOPER METALLUX LIGHTING 20C22-36-48-48V-48S-DS-C22-EDQJL4P4K		ACCTY BRANDS LITHONIA 28L 2x2 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING LCAT2 SERIES AS AN APPROVED EQUAL
B2	LED	33 W	120V	2x2' LED SPECIFICATION GRADE BASKET STYLE TROFFER, 3203 LUMENS, 32.5W, 3500K COLOR, 80 CRI, 120-277V DRIVER, RIBBED FROSTED ACRYLIC LENS WITH EARTHQUAKE CLIPS.		COOPER METALLUX LIGHTING 20C22-36-48-48V-48S-DS-C22-EDQJL4P4K		ACCTY BRANDS LITHONIA 28L 2x2 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING LCAT2 SERIES AS AN APPROVED EQUAL
C1	LED	29 W	120V	2x4' GENERAL LED RECESSED FLAT PANEL, 3563 LUMENS, 29.3W, 3500K COLOR, 80 CRI.		COOPER METALLUX LIGHTING 24P135C-FRBR34		ACCTY BRANDS LITHONIA CFX 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING CR24 SERIES AS AN APPROVED EQUAL
C2	LED	29 W	120V	2x4' GENERAL LED RECESSED FLAT PANEL, 3563 LUMENS, 29.3W, 3500K COLOR, 80 CRI.		COOPER METALLUX LIGHTING 24P135C-FRBR34		ACCTY BRANDS LITHONIA CFX 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING CR24 SERIES AS AN APPROVED EQUAL
C3	LED	29 W	120V	2x4' GENERAL LED RECESSED FLAT PANEL, 3563 LUMENS, 29.3W, 3500K COLOR, 80 CRI.		COOPER METALLUX LIGHTING 24P135C-FRBR34		ACCTY BRANDS LITHONIA CFX 2x4 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING CR24 SERIES AS AN APPROVED EQUAL
D1	LED	21 W	120V	2x2' GENERAL LED FLAT PANEL, 2258 LUMENS, 20.7W, 3500K COLOR, 80 CRI.		COOPER METALLUX LIGHTING 22P135C-FRBR34		ACCTY BRANDS LITHONIA CFX 2x2 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING CR22 SERIES AS AN APPROVED EQUAL
D2	LED	21 W	120V	2x2' GENERAL LED FLAT PANEL, 2258 LUMENS, 20.7W, 3500K COLOR, 80 CRI.		COOPER METALLUX LIGHTING 22P135C-FRBR34		ACCTY BRANDS LITHONIA CFX 2x2 SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING CR22 SERIES AS AN APPROVED EQUAL
F1	LED	24 W	120V	2L WALL/SURFACE MOUNTED LIGHT, 2475 LUMENS, 24.0W, 3500K COLOR, FROSTED LENS WITH WIDE DISTRIBUTION AND INTEGRAL OCCUPANCY SENSOR.		COOPER METALLUX 2-SWLED24SL-W4WV4-435C-CD-16VPO1HJ		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING EBL SERIES AS AN APPROVED EQUAL
F2	LED	24 W	120V	2L WALL/SURFACE MOUNTED LIGHT, 2475 LUMENS, 24.0W, 3500K COLOR, FROSTED LENS WITH WIDE DISTRIBUTION.		COOPER METALLUX 2-SWLED24SL-W4WV4-435C-CD-16VPO1HJ		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING EBL SERIES AS AN APPROVED EQUAL
F3	LED	29 W	120V	4L WALL/SURFACE MOUNTED LIGHT, 3217 LUMENS, 28.9W, 3500K COLOR, FROSTED LENS WITH WIDE DISTRIBUTION AND INTEGRAL OCCUPANCY SENSOR.		COOPER METALLUX 4-SWLED42SL-W4WV4-435C-CD-16VPO1HJ		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING EBL SERIES AS AN APPROVED EQUAL
F4	LED	29 W	120V	4L WALL/SURFACE MOUNTED LIGHT, 3217 LUMENS, 28.9W, 3500K COLOR, FROSTED LENS WITH WIDE DISTRIBUTION.		COOPER METALLUX 4-SWLED42SL-W4WV4-435C-CD-16VPO1HJ		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL COLUMBIA LIGHTING EBL SERIES AS AN APPROVED EQUAL
G1	LED	6 W	120V	Ø 6" DIAMETER LED FIXTURE, RECESSED DOWNLIGHT, 579 LUMENS, 6.2W, 3500K, SEMI-SPHERICAL REFLECTOR, WHITE DIE CAST TRIM RING, MEDIUM DISTRIBUTION.		SOTIWAY LIGHTING EVO4MR-355RMD-SS-MVOLT-4Z2-L76W		POCAL POINT B10-F SERIES AS AN APPROVED EQUAL	HUBBELL PRESCOTTE L1104RD SERIES AS AN APPROVED EQUAL
G2	LED	6 W	120V	Ø 6" DIAMETER LED FIXTURE, RECESSED DOWNLIGHT, 579 LUMENS, 6.2W, 3500K, SEMI-SPHERICAL REFLECTOR, WHITE DIE CAST TRIM RING, MEDIUM DISTRIBUTION.		SOTIWAY LIGHTING EVO4MR-355RMD-SS-MVOLT-4Z2-L76W		POCAL POINT B10-F SERIES AS AN APPROVED EQUAL	HUBBELL PRESCOTTE L1104RD SERIES AS AN APPROVED EQUAL
G3	LED	10 W	120V	Ø 6" DIAMETER LED FIXTURE, RECESSED DOWNLIGHT, 984 LUMENS, 9.8W, 3500K, SEMI-SPHERICAL REFLECTOR, WHITE DIE CAST TRIM RING, MEDIUM DISTRIBUTION.		SOTIWAY LIGHTING EVO4MR-355RMD-SS-MVOLT-4Z2-L76W		POCAL POINT B10-F SERIES AS AN APPROVED EQUAL	HUBBELL PRESCOTTE L1104RD SERIES AS AN APPROVED EQUAL
G4	LED	19 W	120V	Ø 6" DIAMETER LED FIXTURE, RECESSED DOWNLIGHT, 1471 LUMENS, 14.7W, 3500K, SEMI-SPHERICAL REFLECTOR, WHITE DIE CAST TRIM RING, MEDIUM DISTRIBUTION.		SOTIWAY LIGHTING EVO4MR-355RMD-SS-MVOLT-4Z2-L76W		POCAL POINT B10-F SERIES AS AN APPROVED EQUAL	HUBBELL PRESCOTTE L1104RD SERIES AS AN APPROVED EQUAL
H1	LED	14 W	120V	Ø 6" DIAMETER LED FIXTURE, RECESSED DOWNLIGHT, 1471 LUMENS, 14.7W, 3500K, SEMI-SPHERICAL REFLECTOR, WHITE DIE CAST TRIM RING, MEDIUM DISTRIBUTION.		SOTIWAY LIGHTING EVO4MR-355RMD-SS-MVOLT-4Z2-L76W		POCAL POINT B10-F SERIES AS AN APPROVED EQUAL	HUBBELL PRESCOTTE L1104RD SERIES AS AN APPROVED EQUAL
I1	LED	20 W	120V	RECESSED DIRECT PERIMETER LED BLOT FIXTURE, 363 LUMENS, 17.7V, 30.4W, 3500K COLOR, 4' LONG, 120V, SATIN FLUSH DIFFUSER, WHITE FINISH, COORDINATE EXACT CEILING TYPE.		COOPER NEDRAY E13140RDC-35-300K-40075-11-ED-148		PERIMETER ARCHITECTURAL LIGHTING BYT SERIES AS AN APPROVED EQUAL	ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL
I2	LED	20 W	120V	RECESSED DIRECT PERIMETER LED BLOT FIXTURE, 363 LUMENS, 17.7V, 30.4W, 3500K COLOR, 4' LONG, 120V, SATIN FLUSH DIFFUSER, WHITE FINISH, COORDINATE EXACT CEILING TYPE.		COOPER NEDRAY E13140RDC-35-300K-40075-11-ED-148		PERIMETER ARCHITECTURAL LIGHTING BYT SERIES AS AN APPROVED EQUAL	ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL
J1	LED	24 W	120V	2'X 4' LED, RECESSED (EYEWALL) UNDER LED WALL WASH, 8017 F, 62 LUMENS/F, 120V, 3000K COLOR, FLUSH FLAT WALL WASH ACRYLIC LENS, SINGLE CIRCUIT AND 0-10V DIMMING DRIVER.		PRIDEALITE LIGHTING 18P2424-04-1TMA-W4T4-16-GLUW435-2M81		OR APPROVED PERFORMANCE EQUAL	OR APPROVED PERFORMANCE EQUAL
J2	LED	160 W	208V	SINGLE ARCHITECTURAL AREA LIGHT ON 10' POLE, 177W, 2504 LUMENS, 80 CRI, 3000K COLOR, 208V, 0-1 LIGHT SQUARES, 0-10V-0-25 RATING, TYPE IV WITH SPILL CONTROL, DISTRIBUTION AND HOUSE BLD 6-SEID, SINGLE FUSE, 1500 PSI 4000 BUST, 4000 HIGHT AND PER RATED.		COOPER MCGRAW EDEON IS604P4A504-1504-150V/55-1400-4000-11200-155		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S8	LED	272 W	208V	SINGLE ARCHITECTURAL AREA LIGHT ON 10' POLE, 177W, 2504 LUMENS, 80 CRI, 3000K COLOR, 208V, 0-1 LIGHT SQUARES, 0-10V-0-25 RATING, TYPE IV WITH SPILL CONTROL, DISTRIBUTION AND HOUSE BLD 6-SEID, SINGLE FUSE, 1500 PSI 4000 BUST, 4000 HIGHT AND PER RATED.		COOPER MCGRAW EDEON IS604P4A504-1504-150V/55-1400-4000-11200-155		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S9	LED	20 W	120V	2'X 4' SQUARE MOUNTED VANDER, RECESSED LED LIGHT, 1655 LUMENS, 19.9W, 3500K COLOR, 30 WATTS, MARKING GRADE EXTRUDED ALUMINUM HOUSING, OPAL POLYCARBONATE LENS, NON-DIMMING DRIVER, WET LOCATION RATED, WITH 20V FUSE AND FINISH AS SELECTED BY ARCHITECT.		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S10	LED	20 W	120V	WALL MOUNTED DE-CAST ALUMINUM LED WEDGE WALL PACK, 36.3 WATTS, 3500 LUMENS, TYPE IV FORWARD THROW DISTRIBUTION, 0-10V-0-25 RATING, FINISH PER ARCHITECT, 80 CRI, 3000K COLOR, UNIVERSAL VOLTAGE, IP68 RATED.		COOPER MCGRAW EDEON IS604P4A504-1504-150V/55-1400-4000-11200-155		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S11	LED	20 W	120V	WALL MOUNTED DE-CAST ALUMINUM LED WEDGE WALL PACK, 36.3 WATTS, 3500 LUMENS, TYPE IV FORWARD THROW DISTRIBUTION, 0-10V-0-25 RATING, FINISH PER ARCHITECT, 80 CRI, 3000K COLOR, UNIVERSAL VOLTAGE, IP68 RATED.		COOPER MCGRAW EDEON IS604P4A504-1504-150V/55-1400-4000-11200-155		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S12	LED	20 W	120V	WALL MOUNTED DE-CAST ALUMINUM LED WEDGE WALL PACK, 36.3 WATTS, 3500 LUMENS, TYPE IV FORWARD THROW DISTRIBUTION, 0-10V-0-25 RATING, FINISH PER ARCHITECT, 80 CRI, 3000K COLOR, UNIVERSAL VOLTAGE, IP68 RATED.		COOPER MCGRAW EDEON IS604P4A504-1504-150V/55-1400-4000-11200-155		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S13	LED	20 W	120V	WALL MOUNTED DE-CAST ALUMINUM LED WEDGE WALL PACK, 36.3 WATTS, 3500 LUMENS, TYPE IV FORWARD THROW DISTRIBUTION, 0-10V-0-25 RATING, FINISH PER ARCHITECT, 80 CRI, 3000K COLOR, UNIVERSAL VOLTAGE, IP68 RATED.		COOPER MCGRAW EDEON IS604P4A504-1504-150V/55-1400-4000-11200-155		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S14	LED	4 W	120V	RECESSED ARCHITECTURAL EDGE LT LED END FIXTURE, GREEN LITERS, CLEAR BACKGROUND, EXTRUDED BRUSHED ALUMINUM HOUSING, SINGLE FACE WITH 1/4" BATTERY AND BLY ORGANIZER, PROVIDE ARROWS AS SHOWN ON PLAN.		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL
S15	LED	4 W	120V	RECESSED ARCHITECTURAL EDGE LT LED END FIXTURE, GREEN LITERS, CLEAR BACKGROUND, EXTRUDED BRUSHED ALUMINUM HOUSING, DOUBLE FACE WITH 1/4" BATTERY AND BLY ORGANIZER, PROVIDE ARROWS AS SHOWN ON PLAN.		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL		ACCTY BRANDS LITHONIA BLMP SERIES AS AN APPROVED EQUAL	HUBBELL BEACON VPS SERIES AS AN APPROVED EQUAL

#### GENERAL NOTES:

- ALL LAY-IN FIXTURES TO HAVE EARTHQUAKE CLIPS AND BE SUPPORTED WITH SAFETY CHAIN. SEE SPECIFICATION.
- ALL FIXTURES SHALL BE UL LISTED.
- ALL LIGHTING ALV124 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'A1', 'A2', 'A3' AND 'A4'.
- ALL LIGHTING ALV122 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'B1' AND 'B2'.
- ALL LIGHTING ALP124 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'C1', 'C2' AND 'C3'.
- ALL LIGHTING ALP122 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'D1' AND 'D2'.
- MODERN LIGHTING COMPANY H1050V SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'F1', 'F2', 'F3' AND 'F4'.
- ALL LIGHTING ALK105 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'H1', 'H2', 'H3' AND 'H4'.
- ALL LIGHTING ALK101 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPES: 'J1' AND 'J2'.
- TRACE LITE ALPHA-4 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPE 'L1'.
- U.S. ARCHITECTURE / SUN VALLEY PROMPTED HEAD & BENT POLE ARE APPROVED EQUALS FOR FIXTURE TYPES 'S8' AND 'S9'.
- ELCAST 4008 SERIES IS AN APPROVED EQUAL, FOR FIXTURE TYPE 'S10'.
- ELTRONIX 598203 SERIES ARE APPROVED EQUALS FOR FIXTURE TYPES 'S11' AND 'S12'.

1 MULTI-PURPOSE ROOM #A141 LIGHTING CONTROL DIAGRAM  
SCALE: N.T.S.



DATE	REVISION
10/10/2021	1
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GREENSBORO CITY HALL  
RENOVATION OF THE  
CITY HALL BUILDING  
GREENSBORO, INDIANA 47240

PROJECT NUMBER  
2063-1044-90

DRAWING NUMBER  
E6.1

ELECTRICAL



### Branch Panel: B

Location: IT A105  
Supply From: EXISTING MDP  
Mounting: Surface  
Enclosure: 1

Volts: 120/208 Vys  
Phases: 3  
Wires: 4

A.I.C. Rating: 10kA  
Main Type: MLO  
Main Rating: 225 A  
MCB Rating: 225 A

Notes:  
EXISTING WESTINGHOUSE NPB 36-4L PANEL TO REMAIN.

CKT	Circuit Description	Tripp	Poles	A (VA)	B (VA)	C (VA)	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	2
3	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	4
5	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	6
7	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	8
9	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	10
11	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	12
13	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	14
15	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	16
17	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	18
19	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	20
21	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	22
23	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	24
25	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	26
27	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	28
29	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	30
31	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	32
33	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	34
35	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	36
Total Load:		0 VA	0 VA	0 VA	0 VA	0 VA				
Total Amps:		0 A	0 A	0 A	0 A	0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Min:	0 VA	0.00%	0 VA	Total Conn. Load: 0 VA Total Est. Demand: 0 VA Total Conn. Current: 0 A Total Est. Demand Current: 0 A

Notes:  
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

### Branch Panel: F

Location: BOILER ROOM A134  
Supply From: EXISTING MDP  
Mounting: Surface  
Enclosure: 1

Volts: 120/208 Vys  
Phases: 3  
Wires: 4

A.I.C. Rating: 10kA  
Main Type: MCB  
Main Rating: 225 A  
MCB Rating: 225 A

Notes:  
EXISTING WESTINGHOUSE MDP PANEL TO REMAIN,  
WITH 120V/0P SUB FEED BREAKER TO PANEL 'B'

CKT	Circuit Description	Tripp	Poles	A (VA)	B (VA)	C (VA)	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	2
3	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	4
5	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	6
7	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	8
9	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	10
11	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	12
13	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	14
15	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	16
17	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	18
19	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	20
21	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	22
23	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	24
25	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	26
27	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	28
29	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	30
31	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	32
33	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	34
35	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	36
Total Load:		0 VA	0 VA	0 VA	0 VA	0 VA				
Total Amps:		0 A	0 A	0 A	0 A	0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Min:	0 VA	0.00%	0 VA	Total Conn. Load: 0 VA Total Est. Demand: 0 VA Total Conn. Current: 0 A Total Est. Demand Current: 0 A

Notes:  
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

### Branch Panel: 2L

Location: STORAGE A163  
Supply From: MDP  
Mounting: Surface  
Enclosure: 1

Volts: 120/208 Vys  
Phases: 3  
Wires: 4

A.I.C. Rating: 10kA  
Main Type: MLO  
Main Rating: 225 A  
MCB Rating: 225 A

Notes:  
NEW SURFACE MOUNTED PANEL.

CKT	Circuit Description	Tripp	Poles	A (VA)	B (VA)	C (VA)	Poles	Tripp	Circuit Description	CKT
1	Electric Range - Break RA154	50 A	2	2500	0	0	2	50 A	Electric Range - Break RA154	2
3	Future Range Hood/Fan - Break RA154	20 A	1	0	0	0	1	20 A	Future Range Hood/Fan - Break RA154	4
5	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	6
7	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	8
9	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	10
11	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	12
13	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	14
15	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	16
17	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	18
19	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	20
21	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	22
23	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	24
25	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	26
27	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	28
29	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	30
31	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	32
33	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	34
35	20A Sub - Storage RA155	20 A	1	1524	1524	1524	1	20 A	20A Sub - Storage RA155	36
Total Load:		1620 VA	1620 VA	1620 VA	1620 VA	1620 VA				
Total Amps:		36 A	36 A	36 A	36 A	36 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Min:	4572 VA	100.00%	4572 VA	Total Conn. Load: 4572 VA Total Est. Demand: 4572 VA Total Conn. Current: 136 A Total Est. Demand Current: 136 A

Notes:  
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

### Branch Panel: E

Location: STORAGE A163  
Supply From: EXISTING MDP  
Mounting: Surface  
Enclosure: 1

Volts: 120/208 Vys  
Phases: 3  
Wires: 4

A.I.C. Rating: 10kA  
Main Type: MLO  
Main Rating: 225 A  
MCB Rating: 225 A

Notes:  
EXISTING OUTLET WARMER TYPE PR12A PANEL TO REMAIN.

CKT	Circuit Description	Tripp	Poles	A (VA)	B (VA)	C (VA)	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	2
3	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	4
5	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	6
7	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	8
9	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	10
11	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	12
13	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	14
15	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	16
17	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	18
19	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	20
21	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	22
23	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	24
25	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	26
27	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	28
29	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	30
31	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	32
33	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	34
35	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	36
37	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	38
39	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	40
41	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	42
43	Existing Circuit	20 A	1	0	0	0	1	20 A	Existing Circuit	44
Total Load:		0 VA	0 VA	0 VA	0 VA	0 VA				
Total Amps:		0 A	0 A	0 A	0 A	0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Min:	0 VA	0.00%	0 VA	Total Conn. Load: 0 VA Total Est. Demand: 0 VA Total Conn. Current: 0 A Total Est. Demand Current: 0 A

Notes:  
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

### Branch Panel: C

Location: STORAGE A137  
Supply From: MDP  
Mounting: Surface  
Enclosure: 1

Volts: 120/208 Vys  
Phases: 3  
Wires: 4

A.I.C. Rating: 10kA  
Main Type: MLO  
Main Rating: 225 A  
MCB Rating: 225 A

Notes:  
EXISTING WESTINGHOUSE TYPE NPB 43-4L SURFACE MOUNTED PANEL TO REMAIN.

CKT	Circuit Description	Tripp	Poles	A	B	C	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	2
3	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	4
5	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	6
7	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	8
9	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	10
11	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	12
13	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	14
15	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	16
17	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	18
19	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	20
21	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	22
23	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	24
25	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	26
27	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	28
29	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	30
31	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	32
33	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	34
35	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	36
37	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	38
39	Existing Circuit	15 A	1	0	0	0	1	15 A	Existing Circuit	40
41	Existing Circuit	20 A	2	0	0	0	2	20 A	Existing Circuit	42
43	—	0	0	0	0	0	0	—	—	44
		Total Amps:		0 A		0 A		0 A		
Legend:										
Load Classification		Connected Load		Demand Factor		Estimated Demand		Panel Totals		
Misc.		0 VA		0.00%		0 VA		Total Conn. Load: 0 VA		
								Total Est. Demand: 0 VA		
								Total Conn. Demand: 0 VA		
								Total Est. Demand Current: 0 A		





# AIA<sup>®</sup> Document G701<sup>™</sup> – 2017

## Change Order

<b>PROJECT:</b> <i>(Name and address)</i> Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	<b>CONTRACT INFORMATION:</b> Contract For: General Construction Date: 12/07/2020	<b>CHANGE ORDER INFORMATION:</b> Change Order Number: 010 Date: 04/20/2021
<b>OWNER:</b> <i>(Name and address)</i> Joshua Marsh, Mayor  314 West Washington Street, Greensburg, Indiana 47240	<b>ARCHITECT:</b> <i>(Name and address)</i> DLZ Indiana, LLC  138 N. Delaware St, Indianapolis, IN 46204	<b>CONTRACTOR:</b> <i>(Name and address)</i> Construction Planning and Management, Inc. (CPM) 10053 N. Hague Rd, Indianapolis, Indiana 46256

### THE CONTRACT IS CHANGED AS FOLLOWS:

*(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)*

Item No. 1 Existing Corridors X155 and X156

a) Revise note for wall sconces to identify existing circuitry to remain as shown on attached drawings.

Item No. 2 Corridors A156 and A158

a) Install seven (7) new Modern Forms Blade 11" LED WS-11511-BK wall sconces finish black as shown on attached drawings.

Item No. 3 Exterior

a) Adjust locations of Generator, Docking Station and Automatic Transfer Switch as shown on attached drawings.

Item No. 4 Mayors Office A177 Exterior

a) Remove two (2) existing louvers and two (2) spandrel glazing panels above each louver at exterior window wall of Mayors Office A177, infill wall per bid documents.

b) Install two (2) new spandrel glazing panels and insulation to match existing window wall at Mayors Office A177.

Item No. 5 Restain Existing Wood Doors

a) Doors XA106, XA139A, XA139B, XA154B, XA170, XA171, XA174, XA175 and XA178 are to be stained to match new door stain.

b) Cabinet wood doors south of Storage Room A171 are to be stained to match new door stain.

Item No. 6 Restain Existing Wood Doors

a) Doors XA129 and XA133 are to be stained to match new door stain.

Item No. 7 Multi-Purpose A141

a) Remove existing door XA140-A. Install new unfinished solid core wood door and lite to match existing XA173 elevation. Stain to match new door stain.

Item No. 8 Office A136

a) Remove existing door XA136. Install new unfinished solid core wood door and lite to match existing XA173 elevation. Stain to match new door stain.

Item No. 9 Replace Wood Doors Unit A

a) Remove existing doors XA113, XA116, XA117, XA118, XA119, XA120, XA123, XA128, XA129, XA130, XA132, and XA133.

b) Replace doors XA113, XA116, XA128, XA129, XA130, XA132, and XA133 with unfinished solid core wood doors matching bid set elevation A. Stain to match new door stain.

c) Replace doors XA117, XA118, XA119, XA120, and XA123 with unfinished solid core wood doors and lite to match existing door elevation XA173. Stain to match new door stain.

Item No. 10 Revise Door Hardware Schedule

a) Revise Hardware Schedule Group 1 to remove doors XA129 and XA133 as shown in the attached Hardware Schedule.

b) Revise Hardware Schedule to create subgroup 1A to include doors XA129 and XA133 as shown in attached Hardware Schedule.

c) Revise Hardware Schedule Groups 1A, 2, 4, 10, and 13 to include new hinges as shown in attached partial Hardware Schedule.



Attachments:  
Change Order Request #011

The original Contract Sum was	\$ 3,855,200.00
The net change by previously authorized Change Orders	\$ 161,539.56
The Contract Sum prior to this Change Order was	\$ 4,016,739.56
The Contract Sum will be increased by this Change Order in the amount of	\$ 33,552.78
The new Contract Sum including this Change Order will be	\$ 4,050,292.34

The Contract Time will be increased by Zero (0) days.  
The new date of Substantial Completion will be 8/04/2021

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

DLZ Indiana, LLC

ARCHITECT (Firm name)



SIGNATURE

Eric B. Ratts, Principal Architect

PRINTED NAME AND TITLE

2021 04-21

DATE

Construction Planning and Management,  
Inc. (CPM)

CONTRACTOR (Firm name)



SIGNATURE

Connor Blaker, Project Manager

PRINTED NAME AND TITLE

04/21/2021

DATE

Greensburg Board of Public Works

OWNER (Firm name)



SIGNATURE

Joshua Marsh, Mayor

PRINTED NAME AND TITLE

4/21/2021

DATE





# Change Order Request

COR#: 011

~~COR#: 013~~

Project: GREENSBURG CITY HALL RENO  
314 WEST WASHINGTON STREET  
GREENSBURG, IN 47240

Job Number: 202022  
Status: PROPOSED  
Origination date: 04/13/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

## Description

PRICING FOR PR-011

THIS CHANGE ORDER IS FOR THE EXTRA WORK AS SHOWN IN PR-011 DATED 04/06/21 AND THE SUPPORTING DOCUMENTS.

PLEASE SEE THE ATTACHED DOCUMENTS FOR FURTHER BREAKDOWN (22 PAGES).

\*\*PLEASE NOTE THAT THE PRICING IN THIS COR IS FOR BASED ON RE-USING THE EXISTING HARDWARE. IF THE CITY ELECTS TO ADD NEW HARDWARE TO MEET ADA REQUIREMENTS, THERE WILL BE SEPERATE, ADDITIONAL MATERIAL AND LABOR COST FOR THESE CHANGES.\*\*

\*\*EXPECTED LEADTIME FOR NEW DOORS IS CURRENTLY 10 WEEKS, AT THIS TIME, CPM IS NOT REQUESTING ADDITIONAL TIME WITH THIS COR, BUT IF LEADTIME ENDS UP BEING LONGER, THEN ADDITIONAL TIME WILL NEED TO BE GRANTED.

## Schedule

Requested days delay: TBD

## Contractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
08-0260 WOOD DOORS COST TO ADD NEW DOORS PER ITEMS 7, 8, 9B, 9C, 10B, 10C	M MATERIAL			8,214.00
09-0050 PARKER CARPENTRY WORK COST FOR REMOVING & REINSTALLING DOORS AND HARDWARE PER ITEMS 5, 6, 7, 8, 9	M MATERIAL			7,800.00
03-0055 CONCRETE ADD. MATERIAL COST FOR ADDITIONAL CONCRETE MATERIAL FOR INCREASE IN GENERATOR PAD SIZE	M MATERIAL			475.00
01-0143 INSURANCE BOND INCREASE TO PERFORMANCE BOND	M MATERIAL			285.03
08-0260 WOOD DOORS CREDIT TO DELETE PRE-FINISH OF SPEC'D (11) WOOD DOORS	M MATERIAL			-440.00
Contractor Pricing Total:				16,334.03

## Subcontractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
08-0050 KENNY GLASS COST FOR STOREFRONT REVISIONS TO THE MAYOR'S OFFICE, ITEM 4	S SUBCONTRACTOR			2,386.00
09-0060 PARKER DRYWALL, INC. CARPENTRY COST TO COMPLETE THE WORK OUTLINED IN ITEM 4A	S SUBCONTRACTOR			860.00
16-0020 EMPIRE ELECTRIC ELECTRICAL ADDS PER ITEMS 2 & 3	S SUBCONTRACTOR			4,000.00
09-0170 FACILITY MAINTENANCE USA COST FOR WOOD DOOR STAINING WORK PER ITEMS 5, 6, 7, 8, 9	S SUBCONTRACTOR			8,375.00
Subcontractor Pricing Total:				15,621.00





# Change Order Request

**COR#: 011**

~~**COR#: 013**~~

Project: GREENSBURG CITY HALL RENO  
314 WEST WASHINGTON STREET  
GREENSBURG, IN 47240

Job Number: 202022  
Status: PROPOSED  
Origination date: 04/13/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

<b>Total:</b>	<b>31,955.03</b>
<b>Mark-up:</b>	<b>1,597.75</b>
<b>Total Contractor Price for CR 013</b>	<b>33,552.78</b>

## Approvals

*Approval of this Change Order Request constitutes a change to the Contract and authorizes CPM CONSTRUCTION PLANNING & to begin work on the attached and referenced scope of work, for the above cost.*

Customer: GREENSBURG BRD OF PUBLIC WORKS

Contractor: CPM CONSTRUCTION PLANNING &

Authorized Representative: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Architect: DLZ Indiana, Inc.

Other: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_



## Email Quote

Date: April 7, 2021  
To: Tyler Sizelove  
Company: CPM

Total Pages: 1  
From: Dave Jones  
Phone: (513) 242-1100  
(800) 672-6795 ext. 151305  
E-mail: dave.jones@laforceinc.com

---

**Re: Greensburg City Hall  
Greensburg, IN**

***LaForce Job#: 187-7834***

---

### Proposal Request #11

Item 7: Add (1) new wood door w/narrow lite	<b>Add \$ 1,360.00</b>
Item 8: Add (1) new wood door w/narrow lite	<b>Add \$ 1,360.00</b>
Item 9.b: Add (7) new wood doors	<b>Add \$ 3,720.00</b>
Item 9.c: Add (5) new wood doors w/narrow lite	<b>Add \$ 3,580.00</b>
Item 10.b: Add new hinges for (2) doors	<b>Add \$ 82.00</b>
Item 10.c: Add new hinges for (12) doors	<b>Add \$ 492.00</b>

Pricing includes factory installed glass in the wood doors where requested.

Exposed glass size priced as 4" x 25" in metal vision kit.

All doors are Rotary Cut Red Oak per spec.

Doors are un-finished.

Delivery to job site included.

No tax included (tax exempt)

Lead-time after approval: 8-9 weeks

Each line item is priced individually. If all the added wood doors can be ordered together at the same time we can offer a **(\$ 2,380.00)** deduct from the above total of \$ 10,594.00 bringing the total of this proposal request to **\$ 8,214.00**

Authorized by: \_\_\_\_\_

Company name: \_\_\_\_\_

Date: \_\_\_\_\_



## Email Quote

Date: March 11, 2021  
To: Brendan Moore  
Company: CPM

Total Pages: 1  
From: Dave Jones  
Phone: (513) 242-1100  
(800) 672-6795 ext. 151305  
E-mail: dave.jones@laforceinc.com

---

**Re: Greensburg City Hall  
Greensburg, IN**

***LaForce Job#: 187-7834***

---

Credit to delete pre-finish of the wood doors

Deduct **(\$ 440.00)** tax exempt

Authorized by: \_\_\_\_\_

Company name: \_\_\_\_\_

Date: \_\_\_\_\_



**From:** Dave Parker <[dparkerdrywall@yahoo.com](mailto:dparkerdrywall@yahoo.com)>  
**Sent:** Tuesday, April 13, 2021 11:41 AM  
**To:** Tyler Sizelove <[TSizelove@cpmconstruction.com](mailto:TSizelove@cpmconstruction.com)>  
**Subject:** Greensburg City Hall

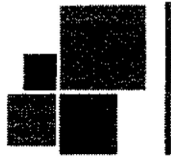
Tyler, to remove and reinstall a door & hardware figure \$200.00/door.

Thanks, Dave Parker

***PARKER DRYWALL, INC.***  
**6409 S 250 E Waldron, IN. 46182**  
**1-800-439-2588**

Office/Fax: 765-525-6429  
Cell Phone: 317-604-0560  
Email: [dparkerdrywall@yahoo.com](mailto:dparkerdrywall@yahoo.com)





**KENNY  
GLASS**  
Promises kept since 1945.

5240 N. US 31  
Columbus, Indiana  
47201

Phone: 812-372-8834  
Fax: 812-372-8833

April 8, 2021

To: CPM Const  
Attn: Tyler Sizelove

## Proposal

Re: Greensburg City Hall  
Scope: PR 011 Item #4

Section Title	Description of Proposed Materials
Aluminum Storefront & Entry Doors	Remove existing 2 louvers and 2 pieces of Spandrel in Room 177.
Glazing	Install 2 new pieces Black Spandrel glass to match the pieces on each side. Approximately 36 inches x 60 inches. To be field measured before ordering.
Caulking	
Payment Terms	
Exclusions	

Price Installed: **\$2386.00** Addition to original scope

This quote does include sales tax and is good for 60 days.  
Thank you for the opportunity

  
Kevin Tracy



# AIA® Document G709™ – 2018

## Proposal Request

<b>PROJECT:</b> (name and address)	<b>CONTRACT INFORMATION:</b>	Architect's Project Number: 2063-1044-90
Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	Contract For: General Construction Date: 12/07/2020	Proposal Request Number: 011 Proposal Request Date: 04/6/2021
<b>OWNER:</b> (name and address)	<b>ARCHITECT:</b> (name and address)	<b>CONTRACTOR:</b> (name and address)
Joshua Marsh, Mayor 314 West Washington Street, Greensburg, Indiana 47240	DLZ Indiana, LLC 138 N. Delaware St. Indianapolis, IN. 46204	CPM Construction 10053 N. Hague Rd, Indianapolis, Indiana 46256

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Seven (7) days or notify the Architect in writing of the anticipated date of submission.

*(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)*

Contractor shall provide a cost for the items below:

**Item No. 1 Existing Corridors X155 and X156**

- a) Revise note for wall sconces to identify existing circuitry to remain as shown on attached drawings.

**Item No. 2 Corridors A156 and A158**

- a) Install seven (7) new Modern Forms Blade 11" LED WS-11511-BK wall sconces finish black as shown on attached drawings.

**Item No. 3 Exterior**

- a) Adjust locations of Generator, Docking Station and Automatic Transfer Switch as shown on attached drawings.

**Item No. 4 Mayors Office A177 Exterior**

- a) Remove two (2) existing louvers and two (2) spandrel glazing panels above each louver at exterior window wall of Mayors Office A177, infill wall per bid documents.  
b) Install two (2) new spandrel glazing panels and insulation to match existing window wall at Mayors Office A177.

**Item No. 5 Restain Existing Wood Doors**

- a) Doors XA106, XA139A, XA139B, XA154B, XA170, XA171, XA174, XA175 and XA178 are to be stained to match new door stain.  
b) Cabinet wood doors south of Storage Room A171 are to be stained to match new door stain.

**Item No. 6 Restain Existing Wood Doors**

- a) Doors XA129 and XA133 are to be stained to match new door stain.

**Item No. 7 Multi-Purpose A141**

- a) Remove existing door XA140-A. Install new unfinished solid core wood door and lite to match existing XA173 elevation. Stain to match new door stain.

**Item No. 8 Office A136**

- a) Remove existing door XA136. Install new unfinished solid core wood door and lite to match existing XA173 elevation. Stain to match new door stain.

**Item No. 9 Replace Wood Doors Unit A**

- a) Remove existing doors XA113, XA116, XA117, XA118, XA119, XA120, XA123, XA128, XA129, XA130, XA132, and XA133.

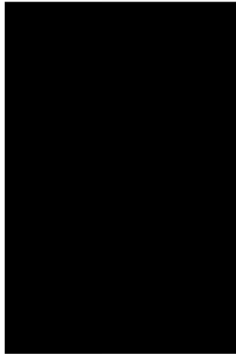
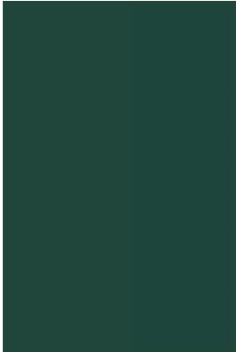


Ceramic Frit Colors

Oldcastle BuildingEnvelope® offers a complete line of ceramic enamel frit in the following standard color options:

White, Subdued Gray, Solargray®, Solarbronze®, Gray Black, Black, Solex®, Ford Blue®, Warm Gray, Lava Bronze®, Evergreen™, and Charcoal (special set-up)

Custom colors for ceramic enamel frit are also available.

				White	Subdued Gray	Solargray®	Solarbronze®
				Gray Black	Black	Solex®	Ford Blue
				Lava Bronze	Warm Gray	EverGreen™	Charcoal



**PARKER DRYWALL, INC.**  
**6409 S 250 E WALDRON, IN. 46182**  
**1-800-439-2588**

4/8/2021

To: CPM, Inc.

Re: Drywall Bid

PR-11 Item No.4: GREENSBURG CITY HALL MULTI PURPOSE ROOM

Scope of Work: Louver and Panel infills

1. Install metal framing in 4 areas of removed panels
2. Install and finish drywall on new framed areas ready for paint
3. Place all scrap material and debris in dumpsters supplied by General Contractor

All Labor and Material- 860.00

Total PR-11 \$ 860.00

Thanks,

Dave Parker



## Tyler Sizelove

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**From:** Connor Blaker  
**Sent:** Thursday, April 08, 2021 12:55 PM  
**To:** Tyler Sizelove  
**Subject:** FW: PR#0011

---

**From:** William Andries <williamandries50@gmail.com>  
**Sent:** Wednesday, April 7, 2021 10:17 PM  
**To:** Connor Blaker <CBlaker@cpmconstruction.com>; Tim Stainbrook <empireelectric1234@gmail.com>  
**Subject:** PR#0011

Item 1 a. no charge  
Item 2 a. Add \$2100  
Item 3 a. Add \$1900

William Andries  
317-557-2254

Thank you, Bill

Total Cost = \$4,000.00
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# Estimate

# EST-0860

## Facility Maintenance USA

8375 E 96th St  
Suite #103  
Indianapolis Indiana 46256  
317-782-1800

Bill To  
**CPM Construction**  
10053 Hague Rd  
Indianapolis, IN 46256

Estimate Date : 04.07.2021  
Expiration Date : 05.08.2021  
Project Name : Greensburg City Hall PR  
#11

Item & Description	Qty	Rate	Amount
PR #11 Scope of Work: Item No 5 - Restain 11 existing wood doors	1.00	4,125.00	4,125.00
Item No 6 - Restain 2 existing wood doors	1.00	750.00	750.00
Item No 7 - A141 Stain 1 new unfinished wood door	1.00	250.00	250.00
Item No 8 - A136 Stain 1 new unfinished wood door	1.00	250.00	250.00
Item No 9 - Stain 12 new unfinished wood doors	1.00	3,000.00	3,000.00
Assumptions: Restaining of existing doors may not achieve uniformed staining All stained doors will require client approval before seal coat is applied.	0.00	0.00	0.00
Sub Total			8,375.00
Total			<b>\$8,375.00</b>

## Notes

We appreciate the opportunity to provide you this estimate. Please note that our bid is for the scope indicated and defined in our estimate. Our bid does not include any overtime, excessive prep work or any necessary permitting. Our time and material rates are as follows, \$55/man hour for regular time and \$82.50 for OT and weekend man hours with 15% profit added on to the total.





# AIA<sup>®</sup> Document G709<sup>™</sup> – 2018

## Proposal Request

<b>PROJECT:</b> <i>(name and address)</i>	<b>CONTRACT INFORMATION:</b>	Architect's Project Number: 2063-1044-90
Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	Contract For: General Construction Date: 12/07/2020	Proposal Request Number: 011 Proposal Request Date: 04/6/2021
<b>OWNER:</b> <i>(name and address)</i>	<b>ARCHITECT:</b> <i>(name and address)</i>	<b>CONTRACTOR:</b> <i>(name and address)</i>
Joshua Marsh, Mayor 314 West Washington Street, Greensburg, Indiana 47240	DLZ Indiana, LLC 138 N. Delaware St. Indianapolis, IN 46204	CPM Construction 10053 N. Hague Rd, Indianapolis, Indiana 46256

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Seven (7) days or notify the Architect in writing of the anticipated date of submission.

*(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)*

Contractor shall provide a cost for the items below:

Item No. 1 Existing Corridors X155 and X156

a) Revise note for wall sconces to identify existing circuitry to remain as shown on attached drawings.

Item No. 2 Corridors A156 and A158

a) Install seven (7) new Modern Forms Blade 11" LED WS-11511-BK wall sconces finish black as shown on attached drawings.

Item No. 3 Exterior

a) Adjust locations of Generator, Docking Station and Automatic Transfer Switch as shown on attached drawings.

Item No. 4 Mayors Office A177 Exterior

a) Remove two (2) existing louvers and two (2) spandrel glazing panels above each louver at exterior window wall of Mayors Office A177, infill wall per bid documents.

b) Install two (2) new spandrel glazing panels and insulation to match existing window wall at Mayors Office A177.

Item No. 5 Restain Existing Wood Doors

a) Doors XA106, XA139A, XA139B, XA154B, XA170, XA171, XA174, XA175 and XA178 are to be stained to match new door stain.

b) Cabinet wood doors south of Storage Room A171 are to be stained to match new door stain.

Item No. 6 Restain Existing Wood Doors

a) Doors XA129 and XA133 are to be stained to match new door stain.

Item No. 7 Multi-Purpose A141

a) Remove existing door XA140-A. Install new unfinished solid core wood door and lite to match existing XA173 elevation. Stain to match new door stain.

Item No. 8 Office A136

a) Remove existing door XA136. Install new unfinished solid core wood door and lite to match existing XA173 elevation. Stain to match new door stain.

Item No. 9 Replace Wood Doors Unit A

a) Remove existing doors XA113, XA116, XA117, XA118, XA119, XA120, XA123, XA128, XA129, XA130, XA132, and XA133.



- b) Replace doors XA113, XA116, XA128, XA129, XA130, XA132, and XA133 with unfinished solid core wood doors matching bid set elevation A. Stain to match new door stain.
- c) Replace doors XA117, XA118, XA119, XA120, and XA123 with unfinished solid core wood doors and lite to match existing door elevation XA173. Stain to match new door stain.

Item No. 10 Revise Door Hardware Schedule

- a) Revise Hardware Schedule Group 1 to remove doors XA129 and XA133 as shown in the attached Hardware Schedule.
- b) Revise Hardware Schedule to create subgroup 1A to include doors XA129 and XA133 as shown in attached Hardware Schedule.
- c) Revise Hardware Schedule Groups 1A, 2, 4, 10, and 13 to include new hinges as shown in attached partial Hardware Schedule.

Attachments:

PARTIAL HARDWARE SCHEDULE

SD1.0 - SITE REMOVALS AND PROTECTION PLAN

SD2.0 - SITE PLAN

ED3.1 - FIRST FLOOR AND MEZZANINE LIGHTING REMOVAL PLAN - UNIT A

E1.0 - PARTIAL SITE PLAN - ELECTRICAL

E3.1 - FIRST FLOOR AND MEZZANINE LIGHTING PLAN - UNIT A

E6.1 - LIGHT FIXTURE SCHEDULE

**THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.**

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**REQUESTED BY THE ARCHITECT:**

Eric B. Ratts, Principal Architect

**PRINTED NAME AND TITLE**



45385 OPT0185523 Version 1

**HARDWARE GROUP NO. 01**

*FOR USE ON DOOR #(S):*

XA138              XA139-A              XA139-B              XA142              XA160              XA161

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
1	EA	PUSH PLATE	8200 4" X 16"	612	IVE
1	EA	PULL PLATE	8303 10" 4" X 16"	612	IVE

BALANCE OF HARDWARE EXISTING TO REMAIN.

**HARDWARE GROUP NO. 01A**

*FOR USE ON DOOR #(S):*

XA129              XA133

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	PUSH PLATE	8200 4" X 16"	612	IVE
1	EA	PULL PLATE	8303 10" 4" X 16"	612	IVE

BALANCE OF HARDWARE EXISTING TO REMAIN.

**HARDWARE GROUP NO. 02**

*FOR USE ON DOOR #(S):*

XA128              XA132

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	PUSH PLATE	8200 4" X 16"	612	IVE
1	EA	PULL PLATE	8303 10" 4" X 16"	612	IVE
1	EA	MOP PLATE	8400 10" X 1" LDW B-CS	612	IVE

BALANCE OF HARDWARE EXISTING TO REMAIN.



**HARDWARE GROUP NO. 03**

*FOR USE ON DOOR #(S):*

XA135                      XA144

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
1	EA	SGL CYL DEADBOLT	B660J 12-641 10-064	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	PUSH PLATE	8200 4" X 16"	612	IVE
1	EA	PULL PLATE	8303 10" 4" X 16"	612	IVE

BALANCE OF HARDWARE EXISTING TO REMAIN. VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.

**HARDWARE GROUP NO. 04**

*FOR USE ON DOOR #(S):*

XA113                      XA116

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	SGL CYL DEADBOLT	<del>B660J 12-641 10-064</del>	612	SCH
1	EA	RESTROOM DEADBOLT INDICATOR	RDI (ARCHITECTURAL OPENINGS) - VERIFY: "OPEN/LOCKED" OR "OPEN/IN USE"	622	
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	PUSH PLATE	8200 4" X 16"	612	IVE
1	EA	PULL PLATE	8303 10" 4" X 16"	612	IVE
1	EA	MOP PLATE	8400 10" X 1" LDW B-CS	612	IVE

BALANCE OF HARDWARE EXISTING TO REMAIN. VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.



**HARDWARE GROUP NO. 05**

*FOR USE ON DOOR #(S):*

B103                      B119

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	PRIVACY LOCK	L9040 17N L583-363	612	SCH
1	EA	WALL STOP	WS406/407CVX	612	IVE
3	EA	SILENCER	SR64	GRY	IVE

**HARDWARE GROUP NO. 06**

*FOR USE ON DOOR #(S):*

XA109

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
1	EA	PRIVACY LOCK	L9040 17N L583-363	612	SCH

BALANCE OF HARDWARE EXISTING TO REMAIN.

VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.

**HARDWARE GROUP NO. 07**

*FOR USE ON DOOR #(S):*

A104-A                      A104-B

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	OFFICE/ENTRY LOCK	L9050J 17N L583-363	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	OH STOP	410S	612	GLY
1	EA	KICK PLATE	8400 10" X 1 1/2" LDW B-CS	612	IVE
1	EA	MOP PLATE	8400 10" X 1" LDW B-CS	612	IVE
3	EA	SILENCER	SR64	GRY	IVE



**HARDWARE GROUP NO. 08**

*FOR USE ON DOOR #(S):*

B104                  B106                  B107                  B110

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	OFFICE/ENTRY LOCK	L9050J 17N L583-363	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	WALL STOP	WS406/407CVX	612	IVE
3	EA	SILENCER	SR64	GRY	IVE

**HARDWARE GROUP NO. 09**

*FOR USE ON DOOR #(S):*

XA148

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
1	EA	OFFICE/ENTRY LOCK	L9050J 17N L583-363	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH

BALANCE OF HARDWARE EXISTING TO REMAIN. VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.



**HARDWARE GROUP NO. 10**

*FOR USE ON DOOR #(S):*

XA117              XA118              XA119              XA120              XA123              XA136  
XA140-A

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	OFFICE/ENTRY LOCK	L9050J 17N L583-363	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	MOP PLATE	8400 10" X 1" LDW B-CS	612	IVE
1	EA	WALL STOP	WS406/407CVX	612	IVE

REMOVE CLOSER AND KICKDOWN HOLD OPEN AND TURN OVER TO OWNER. BALANCE OF HARDWARE EXISTING TO REMAIN. VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.

**HARDWARE GROUP NO. 11**

*FOR USE ON DOOR #(S):*

A179

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	CLASSROOM LOCK	L9070J 17N	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	WALL STOP	WS406/407CVX	612	IVE
3	EA	SILENCER	SR64	GRY	IVE



**HARDWARE GROUP NO. 12**

*FOR USE ON DOOR #(S):*

XA106	XA108	XA110	XA137	XA145	XA146
XA154-A	XA154-B				

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
1	EA	CLASSROOM LOCK	L9070J 17N	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH

BALANCE OF HARDWARE EXISTING TO REMAIN. VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.

**HARDWARE GROUP NO. 13**

*FOR USE ON DOOR #(S):*

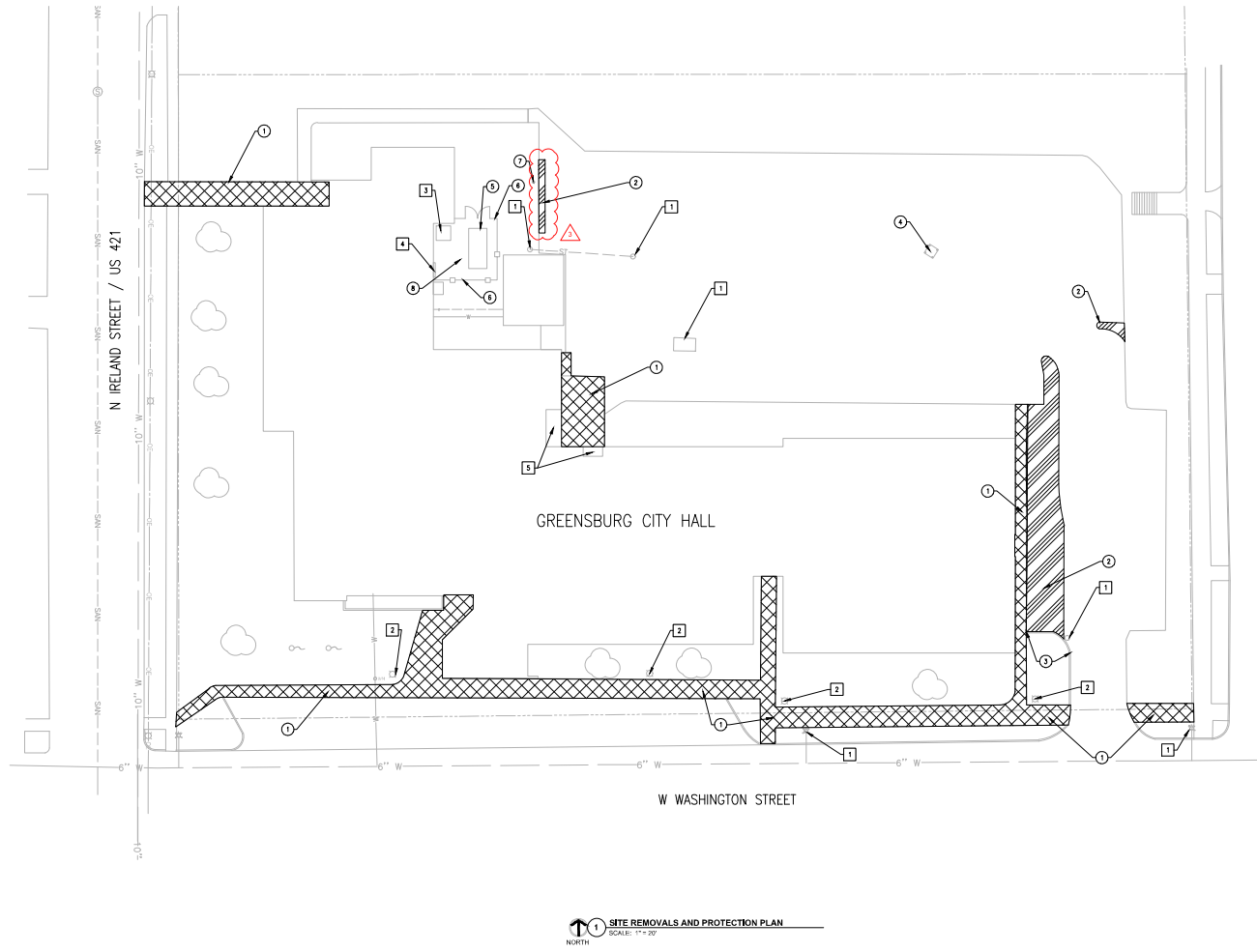
XA130

*PROVIDE EACH OPENING WITH THE FOLLOWING:*

<u>QTY</u>		<u>DESCRIPTION</u>	<u>CATALOG NUMBER</u>	<u>FINISH</u>	<u>MFR</u>
3	EA	HINGE	5BB1 4.5 X 4.5 (NRP AS REQ'D)	639	IVE
1	EA	CLASSROOM LOCK	L9070J 17N	612	SCH
1	EA	PERMANENT CORE	23-030 C123 - MATCH EXISTING SYSTEM	606	SCH
1	EA	MOP PLATE	8400 10" X 1" LDW B-CS	612	IVE

BALANCE OF HARDWARE EXISTING TO REMAIN. VERIFY/COORDINATE PREPS ON EXISTING DOORS AND FRAMES. PROVIDE FIELD MODIFICATIONS AND/OR FILLERS TO EXISTING DOORS AND FRAMES AS NECESSARY TO ACCEPT NEW SPECIFIED HARDWARE AND FOR FINISHED LOOK.





## GENERAL NOTES

- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITIES SHOWN AND NOT SHOWN ON DRAWING PRIOR TO COMMENCEMENT OF REMOVAL ACTIVITIES.
- BUILDING LIMITS WERE DERIVED FROM AERIAL IMAGERY OBTAINED FROM THE INDIANA SPATIAL DATA PORTAL, DATED 11/07/2012, AND COMBINED WITH SURVEY DATA PROVIDED BY THE CITY OF GREENSBURG DATED 8/24/2020.
- REFER TO M, P, AND E SERIES DRAWINGS FOR PROPOSED ELECTRICAL AND MECHANICAL EQUIPMENT IMPROVEMENTS.

## REMOVAL KEY

- REMOVE EXISTING CONCRETE SIDEWALK, COMPLETE
- REMOVE EXISTING ASPHALT, COMPLETE
- REMOVE EXISTING CURB, COMPLETE
- REMOVE EXISTING PAINTWASH DROPS/SPRAWL AND CONCRETE PAD
- REMOVE EXISTING CHILLER AND CONCRETE PAD
- REMOVE EXISTING FENCE
- REMOVE BASKETBALL HOOP
- STRIP EXISTING GRAVEL FROM UTILITY YARD

## REMOVAL LEGEND

- REMOVE EXISTING CONCRETE WALK, COMPLETE
- REMOVE EXISTING ASPHALT, COMPLETE

## PROTECTION KEY

- PROTECT EXISTING UTILITIES TO REMAIN
- PROTECT EXISTING LIGHT POLE TO REMAIN
- PROTECT EXISTING ELECTRICAL EQUIPMENT TO REMAIN
- PROTECT EXISTING GAS EQUIPMENT TO REMAIN
- PROTECT EXISTING CONCRETE WALK ABOVE UTILITY TUNNEL

REVISION	DATE
1	10/10/2020
2	10/10/2020
3	10/10/2020
4	10/10/2020
5	10/10/2020
6	10/10/2020
7	10/10/2020
8	10/10/2020
9	10/10/2020
10	10/10/2020
11	10/10/2020
12	10/10/2020
13	10/10/2020
14	10/10/2020
15	10/10/2020
16	10/10/2020
17	10/10/2020
18	10/10/2020
19	10/10/2020
20	10/10/2020

ISSUED FOR	CITY OF GREENSBURG
PROJECT NO.	2063-1044-90
DATE	10/10/2020
BY	10/10/2020
CHECKED BY	10/10/2020
APPROVED BY	10/10/2020

RENOVATION OF THE  
GREENSBURG CITY HALL  
100 N. MONFORT STREET  
GREENSBURG, INDIANA 47240  
SITE REMOVALS AND  
PROTECTION PLAN



DRAWING NUMBER

SD1.0

SITE DEVELOPMENT



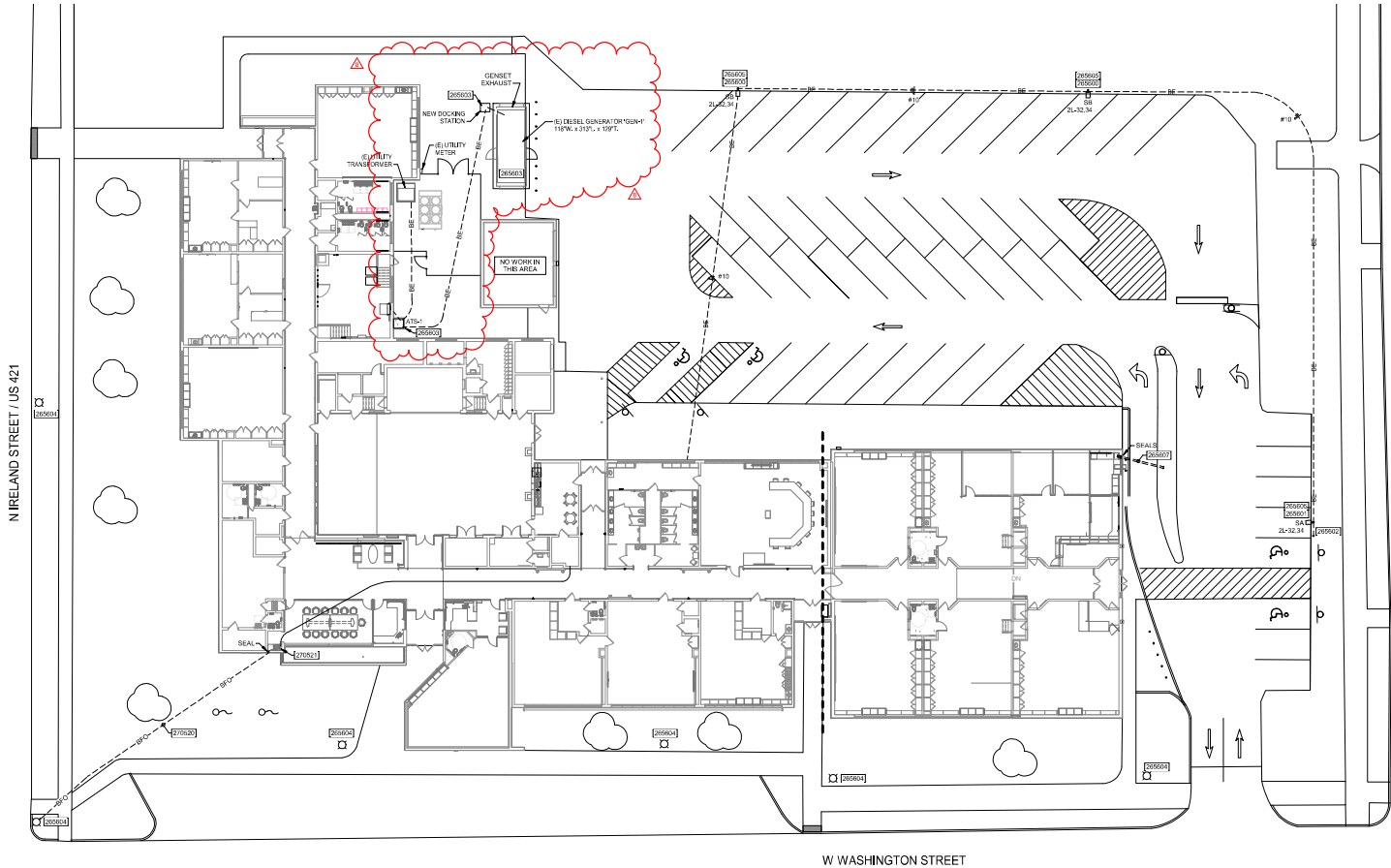






[illegible][illegible]





**PARTIAL SITE PLAN - ELECTRICAL**  
SCALE: 1/8" = 1'-0"  
NORTH

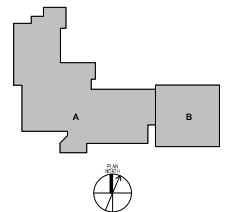
### GENERAL NOTES

A. REFER TO SHEETS E1.1 AND E1.2 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.

### KEYNOTES

- 205001 TOP OF CONCRETE BASE FOR LIGHT POLE SHALL BE 0'-4" AFD. LIGHT POLE SHALL BE 30'0" FOR 30'0" POLE FOUNDATION DETAIL. REFER TO SHEET E1.1 DETAIL A. PROVIDE 1/2" BRACING BETWEEN EDGE OF PAVED PARKING LOT AND EDGE OF CONCRETE POLE FOUNDATION.
- 205002 TOP OF CONCRETE BASE FOR LIGHT POLE SHALL BE 0'-4" AFD. LIGHT POLE SHALL BE 30'0" FOR 30'0" POLE FOUNDATION DETAIL. REFER TO SHEET E1.1 DETAIL A. PROVIDE 1/2" BRACING BETWEEN EDGE OF PAVED PARKING LOT AND EDGE OF CONCRETE POLE FOUNDATION.
- 205003 FURNISH AND INSTALL CONDUIT SLEEVES 6"Ø BEYOND THE LIGHTING POLE FOUNDATION FOR FUTURE USE. CAP CONDUIT END AND FLAG RECORD LOCATION ON ELECTRICAL RECORD DRAWINGS. FURNISH WITH PULLSTRING IN CONDUIT SLEEVES.
- 205004 EQUIPMENT TO BE MOUNTED ON CONCRETE PAD. REFER TO STRUCTURAL DRAWING E1.3 FOR PAD INFORMATION.
- 205005 EXISTING AREA LIGHT TO REMAIN PROTECT DURING CONSTRUCTION.
- 205006 FUTURE TO BE CONTROLLED CROWD VIA TIMECLOCK AND PHOTOCELL. REFER TO DETAIL A6 ON SHEET E1.3 CONTROL VIA CONTRACTOR L/C.
- 205007 PROVIDE 1/2"Ø FOR COMMUNICATIONS AND 1/2"Ø FOR POWER STUBBED INTO MIDDLE OF IS AND FOR FUTURE MIGHT DEPOSIT BOX. STUB UP CONDUITS FLUSH WITH GRADE. CAP BOTH ENDS AND PROVIDE FULL STRING IN CONDUITS AND MARK TAPE OVER CONDUITS. FLAG LOCATIONS AND RECORD ON RECORD DRAWINGS. STUB UP CONDUITS 4'Ø 1/2" IN TRANSACTION #612 BELOW COUNTER (ADJACENT TO DRIVE UP WINDOW).
- 205008 (1/4"Ø FROM EXISTING UTILITY POLE STUBBED INTO TUNNEL BELOW BREAK PASS FOR FIBER OPTIC FIELD. FURNISH AND INSTALL WITH NUMBER FIELD. STUB UP ABOVE GRADE AT UTILITY POLE.
- 205009 NEW FIBER SERVICE TO BE ROUTED UP CHASE TO ABOVE ACCESSIBLE CEILING. ROUTE ABOVE ACCESSIBLE CEILING TO IT WALL.

### KEYPLAN



DATE	REVISION
10/20/2020	1.0
10/20/2020	2.0
10/20/2020	3.0
10/20/2020	4.0
10/20/2020	5.0
10/20/2020	6.0
10/20/2020	7.0
10/20/2020	8.0
10/20/2020	9.0
10/20/2020	10.0
10/20/2020	11.0
10/20/2020	12.0
10/20/2020	13.0
10/20/2020	14.0
10/20/2020	15.0
10/20/2020	16.0
10/20/2020	17.0
10/20/2020	18.0
10/20/2020	19.0
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10/20/2020	21.0
10/20/2020	22.0
10/20/2020	23.0
10/20/2020	24.0
10/20/2020	25.0
10/20/2020	26.0
10/20/2020	27.0
10/20/2020	28.0
10/20/2020	29.0
10/20/2020	30.0
10/20/2020	31.0
10/20/2020	32.0
10/20/2020	33.0
10/20/2020	34.0
10/20/2020	35.0
10/20/2020	36.0
10/20/2020	37.0
10/20/2020	38.0
10/20/2020	39.0
10/20/2020	40.0
10/20/2020	41.0
10/20/2020	42.0
10/20/2020	43.0
10/20/2020	44.0
10/20/2020	45.0
10/20/2020	46.0
10/20/2020	47.0
10/20/2020	48.0
10/20/2020	49.0
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10/20/2020	65.0
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10/20/2020	85.0
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10/20/2020	87.0
10/20/2020	88.0
10/20/2020	89.0
10/20/2020	90.0
10/20/2020	91.0
10/20/2020	92.0
10/20/2020	93.0
10/20/2020	94.0
10/20/2020	95.0
10/20/2020	96.0
10/20/2020	97.0
10/20/2020	98.0
10/20/2020	99.0
10/20/2020	100.0

GREENSBURG CITY HALL  
RENOVATION OF THE  
100 N. MONFORT STREET  
GREENSBURG, INDIANA 47240  
PARTIAL SITE PLAN - ELECTRICAL



DRAWING NUMBER  
**E1.0**  
ELECTRICAL





290004 FURNISH AND INSTALL NEW COVER PLATE OVER EXISTING DIMM RECEPTACLE.

290005 FURNISH AND INSTALL NEW BLANK COVERS OVER REMOVED EXISTING LIGHTING CONTROL TOGGLE SWITCHES BACKBOX, PROVIDE A MATCH WALL FINISH.

290006 FURNISH AND INSTALL BLANK COVERS AT OVERHEAD EXISTING LIGHTING CONTROL TOGGLE SWITCHES BACKBOX, PROVIDE A MATCH WALL FINISH.

290007 FURNISH AND INSTALL NEW BLANK COVER WITH POSITIVE LOCK FOR SOLID DUTY, DIMMER BALL BE PROVIDED PER MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED LIGHTS, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED DEVICE, DEVICE COVERAGE TO BE SIZED TO COVER EXISTING REMOVED DIMMER AND EXTEND AS NECESSARY.

290008 FURNISH AND INSTALL NEW OCCUPANCY SENSOR WITH REMOTE LIGHTING CONTROL, MODIFY AND EXTEND AS NEEDED.

290009 FURNISH AND INSTALL NEW OCCUPANCY SENSOR WITH REMOTE LIGHTING CONTROL, MODIFY AND EXTEND AS NEEDED.

290010 FURNISH AND INSTALL NEW DIMMER, SLIDER WITH POSITIVE LOCK FOR SOLID DUTY, DIMMER BALL BE PROVIDED PER MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED LIGHTS, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED DIMMER, DIMMER BALL BE REQUIRED TO MATCH ADJACENT FINISHES; CONNECT NEW DIMMER TO EXISTING LIGHTING CONTROL, MODIFY AND EXTEND AS NEEDED.

290011 FURNISH AND INSTALL NEW DIMM TOGGLE SWITCH, SAME LOCATION AS EXISTING REMOVED TOGGLE SWITCH, TOGGLE SWITCH TO EXISTING LIGHTING CONTROL, MODIFY AND EXTEND AS NEEDED.

290012 MOUNT NEW SURFACE MOUNTED FUTURE OVER EXISTING REMOVED DIMMER.

290013 FURNISH AND INSTALL TWO (2) NEW DIMMER SWITCHES, SLIDES WITH POSITIVE LOCK, DIMMER BALL BE PROVIDED PER MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED LIGHTS, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED TOGGLE SWITCHES, DIMMER BALL BE REQUIRED TO MATCH ADJACENT FINISHES; CONNECT NEW DIMMER TO EXISTING LIGHTING CONTROL, MODIFY AND EXTEND AS NEEDED.

290014 FURNISH AND INSTALL NEW DIMM TOGGLE SWITCH IN SAME LOCATION AS EXISTING REMOVED TOGGLE SWITCH, TOGGLE SWITCH TO EXISTING LIGHTING CONTROL, MODIFY AND EXTEND AS NEEDED.

290015 DOWN TO LIGHTING CONTROL SWITCH ON DETAIL, SEE FIRST, SEE SECOND.

290016 UP TO NEW LIGHTING CONTROL ON MEZZANINE, SEE DETAIL, SEE SECOND.



**GENERAL NOTES:**

- ALL LUMINA FIXTURES TO HAVE EARTHQUAKE CLIPS AND BE SUPPORTED WITH SAFETY CHAIN. SEE SPECIFICATIONS.
- ALL FIXTURES SHALL BE U.L. LISTED.
- CE LIGHTING ALV124 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 14T, 14Z, 16T AND 14Y.
- CE LIGHTING ALV122 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 16T AND 16Z.
- CE LIGHTING ALPL24 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 10T, 12Z AND 10Z.
- CE LIGHTING ALPL22 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 10T AND 10Z.
- MODERN LIGHTING COMPANY #15500V SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 11T, 12Z, 10T AND 10Z.
- CE LIGHTING AL100X SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 10T, 10Z, 16T AND 14Y.
- 3G LIGHTING #100-R-L1 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPES: 12T AND 12Z.
- TRACE LIFE ALPA14 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPE 11T.
- L.E. ARCHITECTURE: SUN VALLEY POWERED HEAD & 150W1A POLE ARE APPROVED EQUALS FOR FIXTURE TYPES 16T AND 16Z.
- ELCAST #608 SERIES IS AN APPROVED EQUAL FOR FIXTURE TYPE 16Z.
- EXTRONIX #5K203 SERIES ARE APPROVED EQUALS FOR FIXTURE TYPES 10T AND 10Z.

