



BOARD OF WORKS SPECIAL MEETING BY ZOOM

TUESDAY, APRIL 12, 2021 | 6:00 PM

Pledge of Allegiance

On Monday April 12, 2021, at 6:00 pm. the special meeting of the Greensburg Board of Works was called to order. Participants were asked to please silence all electronic devices.

To comply with Title VI of the Civil Rights Act of 1964, the City requested that participants in this meeting complete a voluntary, anonymous survey that is available on the table in the back of the room.

Present by zoom at roll call were, Rodney King, Glenn Tebbe, Karen D Rust, Jamie Cain was absent.

Additional in attendance by zoom were Chris Stephen, Ron May, Jean Johanningman , Kristine Rust.

New Business

Ron May, City Engineer, presented change orders 6-7 for the renovation project at City Hall located at 314 E Washington.

Approved change orders have been attached as part of the permanent records for this meeting, according to the following motions, including that Mayor Josh Marsh will be the signer for each change orders.

Motion to approve change order number six by Glenn Tebbe, seconded by Karen D Rust. Recorded voice vote, Rodney King-yes, Glenn Tebbe-yes, Karen D Rust-yes. No nays. Motion passed.

Motion to approve change order number seven by Rodney King, seconded by Glenn Tebbe. Recorded voice vote, Rodney King-yes, Glenn Tebbe-yes, Karen D Rust-yes. No nays. Motion passed.

Mayor Marsh requested approval to hire Rainbow Environmental Service in the amount \$3882.00 to remove asbestos for City Hall building at 314 W Washington Street. Motion to approve by Glenn Tebbe, seconded by Rodney King. Recorded voice vote, Rodney King-yes, Glenn Tebbe-yes, Karen D Rust-yes. No nays. Motion passed.

Mayor Joshua Marsh present Green Sign Invoice and signage for renovation at City Hall, 314 W Washington.

Motion to approve Green Sign invoice # 19492 for \$2565.00 (Assembly Room Sign) by Glenn Tebbe, seconded by Karen D. Rust.

Recorded voice vote, Rodney King-yes, Glenn Tebbe-yes, Karen D Rust-yes. No nays. Motion passed.

Motion to approve Green Sign invoice # 19491 for \$1970.00(Front Lobby Interior Sign) by Rodney King, seconded by Glenn Tebbe. Recorded voice vote, Rodney King-yes, Glenn Tebbe-yes, Karen D Rust-yes. No nays. Motion passed.

Glenn Tebbe made motion to adjourn. All ayes

Adjourned 6:15pm

Agenda and minutes can be found at [greensburg.in.gov](https://www.greensburg.in.gov)
Agenda is subject to change.

"The City of Greensburg acknowledges its responsibility to comply with the Americans with Disabilities Act of 1990. In order to assist individuals with disabilities who require special services (i.e. sign interpretive services, alternative audio/visual devices, and amanuenses) for participation in our access to City sponsored public programs, services, and/or meetings, the City requests that individuals make requests for these services seventy-two (72) hours ahead of the scheduled program, service and/or meeting. To make arrangements, contact Ron May, ADA Coordinator, at (812) 663-3344."



Special Board of Works Signatures

This 12th of April 2021 at 6:00pm

Joshua Marsh *Joshua Marsh*

Jamie Cain _____ *A*

Glenn Tebbe *Glenn Tebbe*

Rodney King *Rodney A. King*

Karen Rust *Karen Rust*

Attested: *Brenda L Dwenger*
Brenda L Dwenger

Agenda and minutes can be found at greensburg.in.gov

Agenda is subject to change.

"The City of Greensburg acknowledges its responsibility to comply with the Americans with Disabilities Act of 1990. In order to assist individuals with disabilities who require special services (i.e. sign interpretive services, alternative audio/visual devices, and amanuenses) for participation in our access to City sponsored public programs, services, and/or meetings, the City requests that individuals make requests for these services seventy-two (72) hours ahead of the scheduled program, service and/or meeting. To make arrangements, contact Ron May, ADA Coordinator, at (812) 663-3344."

**AIA**[®]**Document G701™ – 2017****Change Order****PROJECT:** *(Name and address)*Greensburg City Hall Renovation
314 West Washington Street, Greensburg,
Indiana 47240**CONTRACT INFORMATION:**Contract For: General Construction
Date: 12/07/2020**CHANGE ORDER INFORMATION:**Change Order Number: 006
Date: 03/23/2021**OWNER:** *(Name and address)*

Joshua Marsh, Mayor

ARCHITECT: *(Name and address)*

DLZ Indiana, LLC

CONTRACTOR: *(Name and address)*Construction Planning and Management,
Inc. (CPM)
10053 N. Hague Rd, Indianapolis, Indiana
46256314 West Washington Street, Greensburg,
Indiana 47240138 N. Delaware St, Indianapolis, IN
46204**THE CONTRACT IS CHANGED AS FOLLOWS:***(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)*

Contractor shall provide a separate cost for each of the items below:

Item No. 1

a) Provide a credit to remove the proposed project sign and associated labor from the project.

Attachments:

Change Order Request COR #010

The original Contract Sum was	\$	3,855,200.00
The net change by previously authorized Change Orders	\$	31,538.44
The Contract Sum prior to this Change Order was	\$	3,886,738.44
The Contract Sum will be decreased by this Change Order in the amount of	\$	700.00
The new Contract Sum including this Change Order will be	\$	3,886,038.44

The Contract Time will be increased by Zero (0) days.

The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

DLZ Indiana, LLC

ARCHITECT *(Firm name)*Construction Planning and Management,
Inc. (CPM)**CONTRACTOR** *(Firm name)***SIGNATURE**Connor Blaker, Project Manager
PRINTED NAME AND TITLE

4/5/2021

DATE

Greensburg Board of Public Works

OWNER *(Firm name)***SIGNATURE**Joshua Marsh, Mayor
PRINTED NAME AND TITLE

4/12/21

DATE**SIGNATURE**Eric B. Ratts, Principal Architect
PRINTED NAME AND TITLE

2021 04-05

DATE



Change Order Request

COR#: 010

Project: GREENSBURG CITY HALL RENO
314 WEST WASHINGTON STREET
GREENSBURG, IN 47240

Job Number: 202022
Status: PROPOSED
Origination date: 03/22/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

Description

CREDIT FOR PROJECT SIGN - PR010

PLEASE SEE THE ATTACHED MESSAGE REQUESTING THE CREDIT AND PR#010

Schedule

Requested days delay: TBD

Contractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
01-0141 PROJECT SIGN	M MATERIAL			-700.00
CREDIT BACK FOR OWNER AGREEING TO DELETE THE PROJECT SIGN				
Contractor Pricing Total:				-700.00
Total:				-700.00
Mark-up:				0.00
Total Contractor Price for CR 010				-700.00

Approvals

Approval of this Change Order Request constitutes a change to the Contract and authorizes CPM CONSTRUCTION PLANNING & to begin work on the attached and referenced scope of work, for the above cost.

Customer: GREENSBURG BRD OF PUBLIC WORKS

Contractor: CPM CONSTRUCTION PLANNING &

Authorized Representative: _____

By: _____

Date: _____

By: _____

Date: _____

Architect: ~~DLZ Indiana, Inc.~~ DLZ Indiana, LLC

Other: _____

By: _____

By: _____

Date: _____

Date: _____

Connor Blaker

From: Josh Marsh <jmarsh@greensburg.in.gov>
Sent: Wednesday, March 17, 2021 7:20 AM
To: Connor Blaker
Cc: Eric B. Ratts, AIA; Ron May; Tyler Sizelove; John P. Thompson
Subject: Re: Greensburg City Hall - Credit for Project Sign

All,

We will take the \$700 credit for the sign.

Thank you,
Josh

From: "Connor Blaker" <CBlaker@cpmconstruction.com>
To: "Josh Marsh" <jmarsh@greensburg.in.gov>, "Eric B. Ratts, AIA" <eratts@dlz.com>, "Ron May" <rmay@greensburg.in.gov>
Cc: "Tyler Sizelove" <TSizelove@cpmconstruction.com>, "John P. Thompson" <JThompson@cpmconstruction.com>
Sent: Monday, March 15, 2021 11:02:33 AM
Subject: Greensburg City Hall - Credit for Project Sign

Mr. Mayor/DLZ,

Per our meeting on 2/26, I agreed that I would check and see how much money we had allocated for the job sign as shown on the plans and we could decide if the city would like this money as a credit instead of the sign being installed.

We had \$700 allocated for project sign when we bid the project and I have confirmed that we do have a sign company that would print both panels for less than that amount. We would use CPM labor to install the sign.

I would be willing to either have this sign made and installed or give the credit back to the city. Please advise on which would be preferred.

Thank you,



Connor Blaker
Project Manager
CPM Construction, Planning & Management, Inc.
o: 317-842-8040 ext: 130
c: 317-504-6531
www.cpmconstruction.com



AIA[®] Document G709[™] – 2018

Proposal Request

PROJECT: *(name and address)*

Greensburg City Hall Renovation
314 West Washington Street, Greensburg,
Indiana 47240

CONTRACT INFORMATION:

Contract For: General Construction
Date: 12/07/2020

Architect's Project Number: 2063-1044-90

Proposal Request Number: 010
Proposal Request Date: 03/17/2021

OWNER: *(name and address)*

Joshua Marsh, Mayor
314 West Washington Street, Greensburg,
Indiana 47240

ARCHITECT: *(name and address)*

DLZ Indiana, LLC
138 N. Delaware St, Indianapolis, IN
46204

CONTRACTOR: *(name and address)*

CPM Construction
10053 N. Hague Rd, Indianapolis, Indiana
46256

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Seven (7) days or notify the Architect in writing of the anticipated date of submission.

(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)

Contractor shall provide a cost for the items below:

Item No. 1

a) Provide a credit to remove the proposed project sign and associated labor from the project.

THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.

REQUESTED BY THE ARCHITECT:

Eric B. Ratts, Principal Architect

PRINTED NAME AND TITLE



AIA® Document G701™ – 2017

Change Order

PROJECT: <i>(Name and address)</i> Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	CONTRACT INFORMATION: Contract For: General Construction Date: 12/07/2020	CHANGE ORDER INFORMATION: Change Order Number: 007 Date: 04/02/2021
OWNER: <i>(Name and address)</i> Joshua Marsh, Mayor 314 West Washington Street, Greensburg, Indiana 47240	ARCHITECT: <i>(Name and address)</i> DLZ Indiana, LLC 138 N. Delaware St, Indianapolis, IN 46204	CONTRACTOR: <i>(Name and address)</i> Construction Planning and Management, Inc. (CPM) 10053 N. Hague Rd, Indianapolis, Indiana 46256

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Contractor shall provide a separate cost for each of the items below:

Item No. 1 Corridor A111:

- a) Add the removal of the display assembly complete including columns, bulkhead, partition wall and lighting. Repair, patch and paint the wall as required to match adjacent surface as indicated on attached drawings.
- b) Revise the ceiling plan to accommodate the removal of display assembly as shown in attached drawings.

Item No. 2 Conference A104:

- a) Add millwork resilient base at location shown in attached drawings.
- b) Adjust height of bulkhead as shown in attached drawings.
- c) Remove casework on West wall that was part of base bid as shown in attached drawings.
- d) Remove existing door frame complete. Patch, paint, and repair as required to match adjacent surfaces.

Item No. 3 Multi-Purpose Room A141:

- a) Remove the folding panel partition wall, folding panel partition wall pocket and associated structure from the project scope as indicated on attached drawings.
- b) Revise ceiling plan eliminating the folding partition wall pocket as indicated on the attached drawings.
- c) Infill existing recesses with CMU and add fabric wrapped acoustical panels on the south wall as indicated on the attached drawings.
- d) Revise carpet floor plan eliminating the folding panel partition pocket as indicated on the attached drawings.
- e) Remove thermostat and CO2 sensor with the elimination of the folding panel partition as indicated on the attached Mechanical Drawing
- f) Revise lighting control in Multi-Purpose Room as shown in attached Electrical Drawings.
- g) Remove power, communications outlet, and surface raceway to TV display on south wall.
- h) Remove 98" display and associated mounting bracket from AV package.
- i) Revise fire alarm devices as indicated on attached Electrical Drawing.

Item No. 4 Planning Meeting Room A169: (Provide a separate line item cost for the following changes:)

- a) Add a new partition wall along the East side to conceal wall imperfections on existing wall as indicated on attached drawings.
- b) Revise lighting plan in Planning Meeting Room as shown in attached Electrical Drawings.
- c) Revise power/data as shown in attached Electrical Drawings.
- d) Revise demo status of devices behind furred out East wall as shown in attached Electrical Drawings.

Item No. 5 Plan Director's Office A172: (Provide a separate line item cost for the following changes:)

- a) Add a new partition wall along the East side to conceal wall imperfections on existing wall as indicated on attached drawings.
- b) Revise lighting plan in Plan Director's Office as shown in attached Electrical Drawings.
- c) Revise power/data as shown in attached Electrical Drawings.
- d) Revise demo status of devices behind furred out East wall as shown in attached Electrical Drawings.

Item No. 6

- a) Lower ceiling height to 8'-1 1/2" in rooms: Training A127, Conference A124, Conference A121, Office A119, Plan Director's Office A172, Planning Meeting Room A169, City Engineer A166.

Item No. 7 Office A107

- a) Provide a bulkhead as shown in attached drawings.
- b) Lower East portion of ceiling to 8'-0" as shown in attached drawings.
- c) Revise lighting control in room as indicated on attached Electrical Drawing.

Item No. 8 Storage A110

- a) Lower ceiling to 7'-10" as shown in attached drawings.

Item No. 9 Drawing M2.1 - Ductwork Plan - Unit A

- a) Adjust air terminals, ductwork and associated items as indicated on the drawings.
- b) Adjust air terminals to match updated ceiling grid.

Item No. 10 Drawing M2.2 - Ductwork Plan - Unit B

- a) Adjust air terminals, ductwork and associated items as indicated on the drawings.

Item No. 11 Drawing M2.3 - HVAC Roof Plan

- a) Adjust locations of exhaust fans as indicated on the drawings.

Item No. 12 M3.1 - Hydronic Piping Insulation Plan - Unit A

- a) Adjust routing of hydronic lines as indicated on the drawings.
- b) Remove thermostat and CO2 sensor serving VAV1-3. Single thermostat and CO2 sensor to control VAV boxes VAV 1-1, VAV 1-2 and VAV 1-3 as indicated on the drawings.

Item No. 13 M3.2 - Hydronic Piping Installation Plan - Unit B

- a) Adjust routing of hydronic lines as indicated on the drawings.

Item No. 14 M6.1 - Mechanical Equipment Schedules

- a) Adjust parameters for new air terminal as indicated on the schedules.

Item No. 15 M6.2 - Mechanical Equipment Schedules - 2

- a) Adjust parameters for new vertical fan coil units as indicated on the schedules.

Item No. 16 PD2.4 - First Floor Plumbing Removal Plan - Unit A

- a) Updated demolition requirements for existing plumbing systems in Multipurpose room, see attached drawings.

Item No. 17 Mayors Office A177 and Admin A176:

- a) Revise lighting control as indicated on Electrical Drawing.

Item No. 18 E1.0 - Partial Site Plan - Electrical

- a) Add raceways between Transaction B112 and Island for future power and communications cabling.

Item No 19 E2.1 - First Floor Mezzanine Power Plan - Unit A

- a) Revise locations of Fan Coil Units 6, 7, 8, 22 23 as indicated on attached Electrical Drawing.

Item No. 20 E6.2 - Mechanical Equipment - Electrical Connection Schedule

- a) Revise locations of Fan Coil Units 6, 7, 8, 22 23 as indicated on attached Electrical Drawing.
- b) Revise OCP amperage for Fan Coil Unit 8 as indicated on attached Electrical Drawing.

Item No. 21 E7.3 - Panelboard Schedules

- a) Panel 2L - Revise Trip rating on Circuit #21 'Fan Coil Unit 8' as indicated on attached Electrical Drawing.

Item No. 22 - Contractor Requested Construction Delay

- a) Contractor requested delay of 26 calendar days for ceiling demolition and HVAC design revisions.

Attachments:

Change Order Request COR #007

Change Order Request COR #011

The original Contract Sum was	\$ 3,855,200.00
The net change by previously authorized Change Orders	\$ 30,838.44
The Contract Sum prior to this Change Order was	\$ 3,886,038.44
The Contract Sum will be increased by this Change Order in the amount of	\$ 10,976.97

The new Contract Sum including this Change Order will be

\$ 3,897,015.41

The Contract Time will be increased by twenty-six (26) days.

The new date of Substantial Completion will be July 31, 2021.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

DLZ Indiana, LLC

Construction Planning and Management,
Inc. (CPM)

Greensburg Board of Public Works


ARCHITECT (Firm name)

CONTRACTOR (Firm name)

OWNER (Firm name)


SIGNATURE

Connor Blaker
SIGNATURE


SIGNATURE

Eric B. Ratts, Principal Architect

Connor Blaker, Project Manager

Joshua Marsh, Mayor

PRINTED NAME AND TITLE

PRINTED NAME AND TITLE

PRINTED NAME AND TITLE

2021 04-05

4/5/2021

4/12/21

DATE

DATE

DATE



Change Order Request

COR#: 007
~~COR#: 008~~

Project: GREENSBURG CITY HALL RENO
314 WEST WASHINGTON STREET
GREENSBURG, IN 47240

Job Number: 202022
Status: PROPOSED
Origination date: 03/11/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

Description

PRICING FOR PR 007

THIS CHANGE ORDER IS FOR THE COSTS ASSOCIATED WITH THE CHANGES REQUESTED ON PR#007 RECEIVED FROM DLZ,LLC ON 3/4/21.

FOR BACK-UP FOR EACH OF THE COSTS LISTED BELOW, PLEASE REFER TO THE ATTACHED QUOTES (22 PAGES). BEHIND THE 22 PAGES OF QUOTES AND BACK-UP IS A COPY OF THE ORIGINAL PR#007 (34 PAGES).

** PLEASE NOTE THAT THE FOLLOWING ITEMS ARE EXCLUDED FROM THE PR PRICING: 3F, 3H, 7C, 17A DUE TO THE ELECTRICIAN / AV CONTRACTOR STILL NEEDING ADDITIONAL CLARIFICATION. THE DELETION OF THE 98" DISPLAY CAN ADDED TO A FUTURE PR ONCE THE REST OF THE AV PACKAGE AS BE DISCUSSED AND APPROVED**

THE RE-DESIGN OF THE HVAC SYSTEM AS SHOWN IN THIS PR#007 HAS DELAYED ONSITE PROGRESS. CPM RESERVES THE RIGHT TO PURSUE THE DELAY DAYS THAT THE SCHEDULE HAS INCURRED DUE TO THIS RE-DESIGN.

Schedule

Requested days delay: TBD

Contractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
09-0170 FACILITY MAINTENANCE USA COST FOR FACILITY MAINTENANCE FOR ITEM #S: 1,2,4,5, AND 7.	S SUBCONTRACTOR			600.00
04-0040 BILL WEASE MASONRY, INC. CREDIT FOR NOT INSTALLING THE TWO - 4' X 20' WALLS MADE OF 8" BLOCK	S SUBCONTRACTOR			-1,380.00
04-0040 BILL WEASE MASONRY, INC. ADD FOR MASONRY INFILLS AS DIRECTED ON ITEM 3C	S SUBCONTRACTOR			630.00
09-0060 PARKER DRYWALL, INC. DRYWALL ADDS FOR ITEM #s: 1A, 2A, 4A, 5A, AND 7A	S SUBCONTRACTOR			2,710.00
05-0020 MAK STEEL SERVICES CREDIT FROM MAK STEEL SERVICES TO DELETE THE STEEL STRUCTURE FOR THE FOLDING PARTITION PER ITEM 3A	S SUBCONTRACTOR			-5,456.00
12-0040 MINNICK WOODWORKING LLC CREDIT FOR REMOVAL OF CASEWORK ON WEST WALL IN ROOM A104 PER ITEM 2C	S SUBCONTRACTOR			-1,404.72
09-0040 ADVANCED ACOUSTICAL, LLC COST TO ADD FABRIC WRAPPED ACOUSTICAL PANELS PER ITEM 3C	S SUBCONTRACTOR			1,956.00
16-0020 EMPIRE ELECTRIC ELECTRICAL ADDS PER PR 007 ITEMS: 3E, 3G, 3H, 3I, 4B, 4C, 4D, 5B, 5C, 5D, 18, 19A, ETC. SEE ATTACHED QUOTE FOR COST PER ITEM.	S SUBCONTRACTOR			310.00
15-0050 QUALITY FIRE PROTECTION FIRE SUPPRESSION ADDS PER PR#007, ITEMS #9 and #12	S SUBCONTRACTOR			3,406.08
15-0030 KOCH MECHANICAL, INC. PLUMBING AND HVAC CHANGES PER PR#007. PLEASE SEE BACK-UP ON THE KOCH MECHANICAL QUOTE FORM.	S SUBCONTRACTOR			21,755.69
02-0150 ALPHA DEMOLITION, INC. COST FOR ITEM 2D	S SUBCONTRACTOR			600.00
10-0180 HUF COR, INC. CREDIT TO DELETE THE FOLDING PANEL PARTITION WALL PER ITEM 3A. THIS CREDIT IS BASED ON THE HUF COR SERIES 642 WHICH IS ON THE LIST OF ACCEPTABLE MANUFACTURER AND THIS IS THE PRODUCT THAT WAS IN OUR BID.	S SUBCONTRACTOR			-21,130.00
09-0070 MISC. WALL PATCH / INFILL ALLOWANCE FOR MISC. WALL PATCH REQUIRED	M MATERIAL			775.00
01-0143 INSURANCE BOND ADD FOR INCREASE TO PERFORMANCE BOND	M MATERIAL			59.35

Contractor Pricing Total:

3,431.40



Change Order Request

COR#: 007

~~COR#: 008~~

Project: GREENSBURG CITY HALL RENO
314 WEST WASHINGTON STREET
GREENSBURG, IN 47240

Job Number: 202022
Status: PROPOSED
Origination date: 03/11/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

Total:	3,431.40
Mark-up:	171.57
Total Contractor Price for CR 008	3,602.97

Approvals

Approval of this Change Order Request constitutes a change to the Contract and authorizes CPM CONSTRUCTION PLANNING & to begin work on the attached and referenced scope of work, for the above cost.

Customer: GREENSBURG BRD OF PUBLIC WORKS

Contractor: CPM CONSTRUCTION PLANNING &

Authorized Representative: _____

By: _____

Date: _____

By: _____

Date: _____

Architect: ~~DLZ Indiana, Inc.~~ DLZ Indiana, LLC

Other: _____

By: _____

By: _____

Date: _____

Date: _____



ESTIMATE

Facility Maintenance USA

8375 E 96th St
Suite #103
Indianapolis Indiana 46256

Client:
CPM Construction
10053 Hague Rd
Indianapolis, IN 46256

Estimate Date : 03.11.2021

Expiration Date : 04.12.2021

Project Name : Greensburg City Hall
PR#007

Scope of Work	Qty	Rate	Amount
PR# 007 Scope of Work: - Priming and painting of approximately 500 sq ft of drywall interior walls using SW Promar 200 HD paint Item 001 - \$50 Item 002 - \$150 Item 004 - \$125 Item 005 - \$125 <i>+ Item 007 - \$150</i>	1.00	450.00	450.00
Assumptions: All wall repairs performed by others	0.00	0.00	0.00

Total

~~\$450.00~~

\$600

Notes

We appreciate the opportunity to provide you this estimate. Please note that our bid is for the scope indicated and defined in our estimate. Our bid does not include any overtime, excessive prep work or any necessary permitting. Our time and material rates are as follows, \$55/man hour for regular time and \$82.50 for OT and weekend man hours with 15% profit added on to the total.

Connor Blaker

Bill Wease Masonry

From: Tyler Sizelove
Sent: Thursday, March 11, 2021 4:01 PM
To: Connor Blaker
Subject: Fwd: Greensburg

Tyler Sizelove
Estimator
CPM Construction Planning Management
Cell: 765-661-2482

From: rocko7191@aol.com <rocko7191@aol.com>
Sent: Thursday, March 11, 2021 3:32:11 PM
To: Tyler Sizelove <TSizelove@cpmconstruction.com>
Subject: Re: Greensburg

Credit on 8' wall \$1380

Add for infill \$630

Thanks Bill Wease

-----Original Message-----

From: Tyler Sizelove <TSizelove@cpmconstruction.com>

To: rocko7191@aol.com <rocko7191@aol.com>

Sent: Thu, Mar 11, 2021 2:06 pm

Subject: Greensburg

\$1,380 credit for Item 3A

Add for Item 3C

Credit of: \$750

Bill

Can you please give me a credit price to not install two 4' walls with 8" block 20' high.

And an add to install two 5'x7' 4" masonry infills.



Tyler Sizelove

Estimator

CPM Construction, Planning & Management, Inc.

o: 317-842-8040 ext: 113

c: 765-661-2482

www.cpmconstruction.com

Connor Blaker

Dave Parker Drywall

From: Tyler Sizelove
Sent: Thursday, March 11, 2021 2:59 PM
To: Connor Blaker
Subject: FW: PR 7 Greensburg



Tyler Sizelove
Estimator
CPM Construction, Planning & Management, Inc.
o: 317-842-8040 ext: 113
c: 765-661-2482
www.cpmconstruction.com

From: Dave Parker <dparkerdrywall@yahoo.com>
Sent: Thursday, March 11, 2021 2:57 PM
To: Tyler Sizelove <TSizelove@cpmconstruction.com>
Subject: Re: PR 7 Greensburg

1A- L&M \$80.00

2A L&M- \$ 290.00

4A L&M -\$ 790.00

5A L&M- \$ 790.00

7A L&M- \$ 760.00

Total: \$2,710

Thanks, Dave Parker
[Sent from Yahoo Mail for iPhone](#)

On Thursday, March 11, 2021, 2:33 PM, Tyler Sizelove <TSizelove@cpmconstruction.com> wrote:

Price the following;

1a. patch and repair approximately 60 sf of drywall

2b. patch and repair where door frame will be removed

4a. Add 15' x 10' partition wall 3 5/8" studs with drywall one side. Patch drywall

5a. Add 15' x 10' partition wall 3 5/8" studs with drywall one side. Patch drywall

7a. Add 28' long x 6" wide x 1' tall bulkhead. Patch drywall



Tyler Sizelove

Estimator

CPM Construction, Planning & Management, Inc.

o: 317-842-8040 ext: 113

c: 765-661-2482

www.cpmconstruction.com



Change Order Request

Customer:

CPM Construction, Planning & Manag
10053 Hague Rd
Indianapolis, IN 46256

Project: Greensburg City Hall Reno

Location: Greensburg IN

Architect: DLZ

Engineer:

Change Order Request # COR 1 Regarding: Description

Description	Detailed Information	Est. Cost	Mark-Up	Amount
Materials	Deduct 2,141 lbs of steel	(\$1,455.88)	0.00%	(\$1,455.88)
Sub Materials		\$0.00	15.00%	\$0.00
Shop Labor	(10) Hours @ \$85.00	(\$850.00)	0.00%	(\$850.00)
Detailing Labor	0 Hours @ \$105.00	\$0.00	15.00%	\$0.00
Engineering Cost	Add Description	\$0.00	15.00%	\$0.00
Delivery	Flat Rate	\$0.00	15.00%	\$0.00
Installation	(32) Hours @ \$85.00	(\$2,720.00)	0.00%	(\$2,720.00)
Field Equipment	Fork Truck/Manlift (1) Day @ \$250.00	(\$250.00)	0.00%	(\$250.00)
	Welder (1) Day @ \$180.00	(\$180.00)	0.00%	(\$180.00)
	Tool Truck 0 Day @ \$180.00	\$0.00	15.00%	\$0.00
	Crane/Operator 0 Hours @ \$175.00	\$0.00	15.00%	\$0.00
Taxes	Taxes on Materials and Labor		0.00%	
Bond				\$0.00

Total cost for COR # COR 1 (\$5,456.00)

Description of Change:

This COR is for deducting the operable wall support structural steel. Per detail 4/S1.0. Cost deducts material, fabrication and installation.

All Terms and Conditions of the original subcontract agreement apply to change orders.

Pricing on attached breakout is good for 30 days.

Pricing is subject to modification after 30 days if COR is not signed and returned.

Approved By:

Submitted By: MAK Steel Services, LLC

Signed: _____ Signed: _____

Date: _____ Date: _____

Minnick Woodworking, LLC

5310 Foundation Blvd.
New Albany, IN. 47150

3-8-21

TO; Conner Blaker @ CPM Construction

PR-007

Project = The removal of casework in room A104 and deduction of price

Price of Deduction of casework on west wall in A104

Total = \$1,404.72

Breakdown = Plastic Laminate casework= \$859.62

Solid Surface top = \$545.10

Proposal

Advanced Acoustical, LLC

8595 Beechmont Ave. Suite 107
Cincinnati, OH 45255
(513) 834-5599

March 9, 2021

Proposal: #21-0044

Connor Blaker
CPM
(317) 842-8040

Project: Greensburg City Hall Renovation

We propose to furnish labor and material for the following:

Per Proposal Request #007 dated 03/04/2021

Item #3 - Multi-purpose Room A141

- Add fabric wrapped acoustical panels along the south wall per drawings.

Additional cost: \$1,956.00

Submitted by,

Ryan Adams
Cell: (513) 720-1176

Connor Blaker

Empire Electric

From: Connor Blaker
Sent: Thursday, March 11, 2021 7:15 AM
To: Tyler Sizelove
Cc: Connor Blaker
Subject: FW: PR07

PR#007 from Empire Electric

From: williamandries50@gmail.com <williamandries50@gmail.com>
Sent: Thursday, March 11, 2021 5:20 AM
To: Connor Blaker <CBlaker@cpmconstruction.com>
Subject: PR07

Good morning. the following are our cost for changes.

Item 3e is \$30 *credit*

Item 3g is \$60 *credit*

~~Item 3h is \$400~~

Item 3i is \$250 *credit*

Item 4b is \$125 *credit*

Item 4c is \$130

Item 4d is \$50

Item 5b is \$200 *credit*

Item 5c is \$130

Item 5d is \$50

~~Item 7e is \$400~~

~~Item 17 is \$550~~

Item 18 E1.0 is \$240

Item 19 E2.1 is \$375

~~Item 19a is \$300~~

Item 20 E6.2 a,b - is no change

Item 21 E7.3 is no change

Thank you, Bill

Total Adds: \$975
- Total Credits: \$665
Total overall Add: \$310

QUALITY FIRE PROTECTION INC.
220 INDUSTRIAL DRIVE
LAWRENCEBURG, IN 47025
PHONE (812) 926-1825 MOBILE (513) 314-3930 FAX 812-650-5775

****Certified WBE Contractor****

March 10, 2021

REVISED 3/24/21

Renovation of Greensburg City Hall
314 W. Washington Street
Greensburg, IN 47240

Re: Fire Protection Proposal – **PR#007 Pricing**

Gentlemen:

Our price for PR#007 is broken down as follows:

Items #1 - #8 – NO Impact - \$0.00

→ Item #9 & #12 – ADD \$3,406.08 (\$73.94 x 32hrs)(\$65 x 16hrs)

Item #10 & #13 – NO Change.

Item #14- #20 – NO Impact - \$0.00

Total PR#007 – ADD \$3,406.08

Quality Fire Protection Inc. is also a certified WBE Contractor and if you have any questions, please feel free to contact me at any time.

Sincerely,

QUALITY FIRE PROTECTION
qualityfire@embarqmail.com

Terry Luhrsen
(513) 314-3930

Connor Blaker

From: Connor Blaker
Sent: Monday, March 22, 2021 2:56 PM
To: Connor Blaker
Subject: FW: Greensburg City Hall - PR#007 Pricing
Attachments: Greensburg_City_Hall_FP_Plan_R1.pdf

BACK-UP FOR PR007 REMARKS

From: Quality Fire Protection Inc. <qualityfire@embarqmail.com>
Sent: Thursday, March 18, 2021 7:59 AM
To: Connor Blaker <CBlaker@cpmconstruction.com>
Subject: Re: Greensburg City Hall - PR#007 Pricing

Connor, PR#007 breakdown:

The 32hrs of Nicet III engineer to redesign the layout around ductwork that takes up the entire clear space above ceiling.

The 48 hrs of sprinkler fitter time is probably not enough, to make routing changes and try to fit everything above ceiling height with ductwork, piping and lighting. Trying to get 3" main and 1 1/2" pipe routed through a 12" bar joist space since we can't get under the ductwork is not going to be easy or efficient, adding fittings and cutting piping down to 4'-0" pieces.

Terry Luhrsen
Quality Fire Protection Inc. - Certified WBE Contractor
220 Industrial Drive
Lawrenceburg, IN 47025
812-926-1825 phone
513-314-3930 mobile

From: "Connor Blaker" <CBlaker@cpmconstruction.com>
To: "qualityfire" <qualityfire@embarqmail.com>
Cc: "Tyler Sizelove" <TSizelove@cpmconstruction.com>, "Brendan Moore" <BMoore@cpmconstruction.com>, "John P. Thompson" <JThompson@cpmconstruction.com>
Sent: Wednesday, March 17, 2021 6:39:03 PM
Subject: RE: Greensburg City Hall - PR#007 Pricing

Terry,

The architect's team is vetting our PR007 pricing and made the below remark about your pricing.

1. Quality Fire Protection (pg 11): Rerouting of the ductwork allowed easier routing for the fire sprinkler lines. Need additional breakdown of costs explaining how the rerouting of the ductwork and piping results in a cost increase.

Please provide a further breakdown of your cost and reasoning as to why this cost is necessary.

Please let me know if you have any questions. I need the further breakdown/justification by EOD Friday so I can resubmit to the architect.

Thank you,



Connor Blaker
Project Manager
CPM Construction, Planning & Management, Inc.
o: 317-842-8040 ext: 130
c: 317-504-6531
www.cpmconstruction.com

From: Quality Fire Protection Inc. <qualityfire@embarqmail.com>
Sent: Wednesday, March 10, 2021 12:37 PM
To: Connor Blaker <CBlaker@cpmconstruction.com>
Cc: Tyler Sizelove <TSizelove@cpmconstruction.com>; Brendan Moore <BMoore@cpmconstruction.com>
Subject: Re: Greensburg City Hall - PR#007 Pricing

See attached best guess on what it will effect for us.

Terry Luhrsen
Quality Fire Protection Inc. - Certified WBE Contractor
220 Industrial Drive
Lawrenceburg, IN 47025
812-926-1825 phone
513-314-3930 mobile

From: Dan Schuck <DanS@daveomara.com>
Sent: Saturday, March 20, 2021 10:33 AM
To: Connor Blaker
Subject: Greensburg PR07
Attachments: PR 07 - Koch Mechanical - 3-19-2021.pdf; PO 07 - Vertical Fan Coil Units.pdf

Conner

Here is my revised PR07

I come up with a wash on the ductwork, so no additional labor or materials for the change in duct. We do have a couple more diffusers.

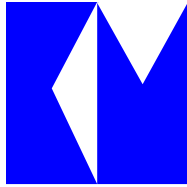
I have given you my piping takeoff. This reflects the net add of materials and labor.

You have Trane's proposal

You have my insulators proposal. They did charge me for more duct insulation. I accounted for zero more linear feet of duct, he must have figured the area and shows a net increase in area.

The vertical fan coil submittals are attached for review and approval

Daniel J. Schuck
Koch Mechanical
2940 N 4th Street
North Vernon, IN 47265
812-346-1624 ph
812-346-8638 fax



Koch Mechanical, Inc.

March 11, 2021

Conner
CPM

RE: Greensburg City Hall – PR-7: Plumbing and HVAC

ITEM 3.e

- Remove thermostat and CO2 sensor
Trane

CREDIT \$ 300.00

ITEM 16.a

This cost has been removed
as it was listed on bid set

- Demo and cap old sink sanitary and domestic water back to wall (1 location)

Plumbing Labor

4 hours

\$ 260.00

Materials

40.00

Subtotal

\$ 300.00

15% Markup

45.00

TOTAL

\$ 345.00

ITEMS 9, 10, 11, 12, 13, 14, 15, & 16

- Change 5 horizontal FCU to 5 vertical FCU
- Duct changes
- Diffuser and grill changes
- Heating water and chilled water piping changes
- Condensate piping changes
- Duct and piping insulation
- Additional pipe and duct penetrations through block walls

Piping Labor (\$65.00/hr)

84 hours for additional piping (See attached for details)

20 hours to layout and cleanup 20 piping penetrations

\$ 6,760.00

Duct Labor (\$65.00/hr)

0 hours for additional ductwork

22 hours to layout and cleanup 11 duct penetrations
penetrations)

\$ 1,430.00

Piping Materials (Net ADD of 525 LNFT of additional chilled, heating and condensate piping)

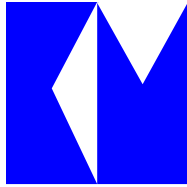
\$ 1,900.00

Ductwork Materials (Net ADD of 0 LNFT of ductwork)

0.00

P.O. Box 309 1100 E. O&M Ave. North Vernon, IN 47265

Phone: (812) 346-1624 Fax: (812) 346-8638 E-Mail: dans@daveomara.com



Koch Mechanical, Inc.

Diffuser Materials (Net ADD of 2 Diffusers/Grilles)		\$ 150.00
Penetrations – Profession Concrete		
20 piping wall penetrations		\$ 1,680.00
11 duct wall penetrations		\$ 3,300.00
Insulation – See attached quote		
Piping		\$ 3,520.42
Duct		\$ 522.57
Trane – Vertical Fan Coils – See attached		
FCU and Controls (Cost to change 5 horizontal FCU to vertical)		\$ 2,800.00
Subtotal	\$18,917.99	\$ 22,062.99
15% Markup	\$2,837.70	3,309.45
TOTAL	\$21,755.69	\$ 25,372.44

This cost was removed by
Trane

NOTES:

- Indiana sales tax not included
- No fire protection piping
- No power wiring

Thank you,

Daniel Schuck

NOTES

Item					Material			Field Labor			
Category	Size	Item Desc	Qty	UOM	Mat Unit	Mat Adj	Mat Ext	Mat Date	Fld Unit	Fld Adj	Fld Ext
COPPER...	3/4"	L-HARD TUBE	86.00	'	2.18	1.00	187.48	3/4/2021	0.0400	1.0000	3.4400
COPPER...	1"	L-HARD TUBE	187.00	'	3.18	1.00	594.66	3/4/2021	0.0500	1.0000	9.3500
COPPER...	1-1/4"	L-HARD TUBE	55.00	'	4.42	1.00	243.10	3/4/2021	0.0500	1.0000	2.7500
COPPER...	1-1/2"	L-HARD TUBE	108.00	'	5.89	1.00	614.52	3/4/2021	0.0600	1.0000	6.4800
COPPER...	3/4"	90 ELBOW CxC	10.00	ea	1.09	1.00	10.90	3/4/2021	0.4200	1.0000	4.2000
COPPER...	1"	90 ELBOW CxC	8.00	ea	2.68	1.00	21.44	3/4/2021	0.5000	1.0000	4.0000
COPPER...	1-1/4"	90 ELBOW CxC	4.00	ea	3.96	1.00	15.84	2/26/2021	0.5400	1.0000	2.1600
COPPER...	1-1/2"	90 ELBOW CxC	4.00	ea	6.18	1.00	24.72	3/4/2021	0.6000	1.0000	2.4000
COPPER...	1-1/2" x1-1/4" ...	REDUCED TEE - 3X	0.00	ea	19.57	1.00	0.00	11/23/2020	0.8400	1.0000	0.0000
COPPER...	1"	TEE	2.00	ea	5.58	1.00	11.16	3/4/2021	0.7500	1.0000	1.5000
COPPER...	1-1/2"	TEE	2.00	ea	15.83	1.00	31.66	3/4/2021	0.9000	1.0000	1.8000
COPPER...	1" x3/4"	CONCENTRIC REDUC...	4.00	ea	3.32	1.00	13.28	3/4/2021	0.5000	1.0000	2.0000
COPPER...	1-1/2" x3/4"	CONCENTRIC REDUC...	-2.00	ea	4.79	1.00	-9.58	11/23/2020	0.6000	1.0000	-1.2000
COPPER...	1-1/2" x1-1/4"	CONCENTRIC REDUC...	4.00	ea	4.69	1.00	18.76	11/23/2020	0.6000	1.0000	2.4000
COPPER...	3/4"	COUPLING	5.00	ea	0.74	1.00	3.70	3/4/2021	0.4200	1.0000	2.1000
COPPER...	1"	COUPLING	10.00	ea	1.47	1.00	14.70	3/4/2021	0.5000	1.0000	5.0000
COPPER...	1-1/4"	COUPLING	3.00	ea	2.47	1.00	7.41	3/4/2021	0.5400	1.0000	1.6200
COPPER...	1-1/2"	COUPLING	6.00	ea	3.33	1.00	19.98	3/4/2021	0.6000	1.0000	3.6000
COPPER...	3/4"	JOINTS--SOLDER	29.00	ea	Skip	1.00	0.00	3/4/2021	Skip	1.0000	0.0000
COPPER...	1"	JOINTS--SOLDER	45.00	ea	Skip	1.00	0.00	3/4/2021	Skip	1.0000	0.0000
COPPER...	1-1/4"	JOINTS--SOLDER	11.00	ea	Skip	1.00	0.00	3/4/2021	Skip	1.0000	0.0000
COPPER...	1-1/2"	JOINTS--SOLDER	24.00	ea	Skip	1.00	0.00	3/4/2021	Skip	1.0000	0.0000
COPPER...	Unsize	SOLDER LBS.--95/5	2.00	lbs	23.00	1.00	46.00	3/4/2021	Skip	1.0000	0.0000
COPPER...	Unsize	PRESTOLITE B tank	1.00	ea	40.00	1.00	40.00	3/4/2021	Skip	1.0000	0.0000
COPPER...	3/4"	DIELEC. UNION FIPxS...	-2.00	ea	1.67	1.00	-3.34	11/23/2020	0.7240	1.0000	-1.4480
COPPER...	1"	DIELEC. UNION FIPxS...	-2.00	ea	4.28	1.00	-8.56	3/4/2021	0.8620	1.0000	-1.7240
COPPER...	1-1/4"	DIELEC. UNION FIPxS...	-2.00	ea	6.14	1.00	-12.28	11/23/2020	0.9310	1.0000	-1.8620
COPPER...	1-1/2"	DIELEC. UNION FIPxS...	0.00	ea	7.20	1.00	0.00	11/23/2020	1.0350	1.0000	0.0000
COPPER...	1" x3/4"	REDUCED TEE - BRAN...	2.00	ea	6.02	1.00	12.04	3/4/2021	0.7100	1.0000	1.4200
COPPER...	1-1/2" x1-1/4"	REDUCED TEE - BRAN...	-2.00	ea	9.31	1.00	-18.62	11/23/2020	0.8700	1.0000	-1.7400
COPPER...	Unsize	FLUX--2 OZ. CAN	1.00	ea	2.10	1.00	2.10	3/4/2021	Skip	1.0000	0.0000
COPPER...	Unsize	ABRASIVE CLOTH-25YD	1.00	ea	10.00	1.00	10.00	3/4/2021	Skip	1.0000	0.0000
SCH 40 B...	3" x3/4"	BOLT-ON TEE - FIP	-2.00	ea	46.00	1.00	-92.00	11/23/2020	1.2400	1.0000	-2.4800
SCH 40 B...	3" x1"	BOLT-ON TEE - FIP	2.00	ea	46.00	1.00	92.00	11/23/2020	1.2400	1.0000	2.4800
SCH 40 B...	3" x1-1/2"	BOLT-ON TEE - FIP	-2.00	ea	57.00	1.00	-114.00	11/23/2020	1.2400	1.0000	-2.4800
SCH 40 B...	4" x1"	BOLT-ON TEE - FIP	-2.00	ea	57.00	1.00	-114.00	11/23/2020	1.2800	1.0000	-2.5600
SCH 40 B...	4" x1-1/4"	BOLT-ON TEE - FIP	-2.00	ea	67.00	1.00	-134.00	11/23/2020	1.2800	1.0000	-2.5600
SCH 40 B...	4" x1-1/2"	BOLT-ON TEE - FIP	2.00	ea	70.00	1.00	140.00	11/23/2020	1.2800	1.0000	2.5600
SCH 40 P...	3/4"	SCH40 PVC PIPE	117.00	'	0.24	1.00	28.08	12/7/2020	0.0300	1.0000	3.5100
SCH 40 P...	1-1/4"	SCH40 PVC PIPE	-48.00	'	0.54	1.00	-25.92	12/7/2020	0.0400	1.0000	-1.9200
SCH 40 P...	3/4"	90 ELBOW	11.00	ea	0.19	1.00	2.09	12/7/2020	0.2400	1.0000	2.6400
SCH 40 P...	1-1/4"	90 ELBOW	-2.00	ea	0.60	1.00	-1.20	12/7/2020	0.3000	1.0000	-0.6000
SCH 40 P...	3/4"	TEE	2.00	ea	0.24	1.00	0.48	12/7/2020	0.3600	1.0000	0.7200
SCH 40 P...	3/4"	COUPLINGS	6.00	ea	0.15	1.00	0.90	12/7/2020	0.1200	1.0000	0.7200
SCH 40 P...	1-1/4"	COUPLINGS	-2.00	ea	0.39	1.00	-0.78	12/7/2020	0.1500	1.0000	-0.3000
SCH 40 P...	3/4"	JOINTS	40.00	ea	Skip	1.00	0.00	12/7/2020	Skip	1.0000	0.0000
SCH 40 P...	1-1/4"	JOINTS	-9.00	ea	Skip	1.00	0.00	12/7/2020	Skip	1.0000	0.0000

NOTES

Item					Material			Field Labor			
Category	Size	Item Desc	Qty	UOM	Mat Unit	Mat Adj	Mat Ext	Mat Date	Fld Unit	Fld Adj	Fld Ext
SCH 40 P...	Unsize	CEMENT--PVC--QTS.	1.00	ea	10.00	1.00	10.00	12/7/2020	Skip	1.0000	0.0000
SCH 40 P...	Unsize	CLEANER--PVC--QTS.	1.00	ea	10.00	1.00	10.00	12/7/2020	Skip	1.0000	0.0000
HANGER...	3/4"	#260 ADJ. CLEVIS HNG.	21.00	ea	0.60	1.00	12.60	3/3/2021	0.5000	1.0000	10.5000
HANGER...	1"	#260 ADJ. CLEVIS HNG.	29.00	ea	0.68	1.00	19.72	3/3/2021	0.5000	1.0000	14.5000
HANGER...	1-1/4"	#260 ADJ. CLEVIS HNG.	-8.00	ea	0.69	1.00	-5.52	3/3/2021	0.5000	1.0000	-4.0000
HANGER...	1-1/2"	#260 ADJ. CLEVIS HNG.	14.00	ea	0.80	1.00	11.20	3/3/2021	0.5000	1.0000	7.0000
HANGER...	3/8"	#146 ALL THREAD ROD	224.00	'	0.30	1.00	67.20	3/3/2021	Skip	1.0000	0.0000
HANGER...	3/8"	#94 1-1/4" JAW TOP BE...	56.00	ea	1.51	1.00	84.56	10/31/2016	0.2000	1.0000	11.2000
HANGER...	3/8"	FIG.165H-HEX NUTS	168.00	ea	0.07	1.00	11.76	10/31/2016	Skip	1.0000	0.0000
HANGER...	3/8"	FIG.103-WASHER--FLA...	168.00	ea	0.04	1.00	6.72	10/31/2016	Skip	1.0000	0.0000
MISC. EQ...	Unsize	GALLONS OF WATER	24.00	gal	> Skip <	1.00	> 0.00 <	2/27/2014	> Skip <	1.0000	> 0.0000
MISC. EQ...	Unsize	GLYCOL MIX (25%)	6.00	gal	> Skip <	1.00	> 0.00 <	2/27/2014	> Manu...	1.0000	> 0.0000
Grand Totals							1,900.96				87.1760

Phone: 317-269-2120
Fax: 317-269-3608

SSI Services, LLC.

Email Quote

To:	Dan @ Koch Mechanical	From:	Don Byrd
Fax:		Date:	3/9/2021
Phone:		Pages:	1
Re:	PR #007 Item # 10	CC:	

☐ **Urgent** ☐ **For Review** ☐ **Please Comment** ☐ **Please Reply**

Thank you for the opportunity to quote the following work:

Scope: The following quote is for the insulation of Added Ductwork. All material to be installed per Manufactures recommendations.

Scope excludes: any work not mentioned above.

Materials will be: Per Plan and Spec

Labor (4hrs @ \$ 56.50)	\$ 226.00
Material	\$ 237.47
10% Mark-up	\$ 46.35
2.5% Insurance	\$ 12.75
 Total Insulation	 \$ 522.57

If you have any questions or if SSI may be of more service to you and your company please call me at 317-269-2120 or my cell phone at 317-508-6533 or my e-mail address is jsmith@ssiweb.com. SSI also does work in Asbestos, Lead & Mold Abatement, Hazardous Waste & Industrial Cleaning, Fireproofing, Demolition and Interior Renovation, and Fire Stopping.

Thank You
Don Byrd
Estimator - Project Manager

Phone: 317-269-2120
Fax: 317-269-3608

SSI Services, LLC.

Email Quote

To:	Dan @ Koch Mechanical	From:	Don Byrd
Fax:		Date:	3/9/2021
Phone:		Pages:	1
Re:	PR #007 Item # 12	CC:	

☐ **Urgent** ☐ **For Review** ☐ **Please Comment** ☐ **Please Reply**

Thank you for the opportunity to quote the following work:

Scope: The following quote is for the insulation of Added Heating, Chilled and Condensate Drain Piping. All material to be installed per Manufactures recommendations.

Scope excludes: any work not mentioned above.

Materials will be: Per Plan and Spec

Labor (28hrs @ \$ 56.50)	\$ 1,582.00
Material	\$ 1,540.33
10% Mark-up	\$ 312.23
2.5% Insurance	\$ 85.86

Total Insulation \$ 3,520.42

If you have any questions or if SSI may be of more service to you and your company please call me at 317-269-2120 or my cell phone at 317-508-6533 or my e-mail address is jsmith@ssiweb.com. SSI also does work in Asbestos, Lead & Mold Abatement, Hazardous Waste & Industrial Cleaning, Fireproofing, Demolition and Interior Renovation, and Fire Stopping.

Thank You
Don Byrd
Estimator - Project Manager

From: [Cornell, Tony](#)
To: [Dan Schuck](#)
Cc: [Stiegelmeier, Scott](#); [Demarco, Drew](#)
Subject: RE: PR 7 - Greensburg City Hall
Date: Thursday, March 18, 2021 5:52:36 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image007.png](#)

Dan,

Please let me know if you need additional details:

- ~~• Changing 5 horizontal FCU to vertical and thus changing locations **Equipment change = \$ 2,800.00, Controls change = none**~~
- Removing thermostat and CO2 in A141, all three VAV to runoff 1 stat and CO2 **Equipment change = none, Controls change = (\$ 300.00)**
- Change in ductwork and change in hydronic piping **No change**

Tony

From: Dan Schuck <DanS@daveomara.com>
Sent: Thursday, March 18, 2021 6:29 AM
To: Cornell, Tony <tcornell@trane.com>
Cc: Stiegelmeier, Scott <scott.stiegelmeier@tranetechnologies.com>
Subject: FW: PR 7 - Greensburg City Hall

Alert: This is an external email.

Tony,

Please provide detail pricing for PR 07 per 2.C
Also provide submittals for the (5) vertical FCU's in PR 07
Please submit the items by end of day Friday 3-19

thanks

Daniel J. Schuck
Koch Mechanical
2940 N 4th Street
North Vernon, IN 47265
812-346-1624 ph
812-346-8638 fax

Connor Blaker

Alpha Demo

From: Jeff Caudill <alphademolitioninc@gmail.com>
Sent: Wednesday, March 10, 2021 8:07 AM
To: Connor Blaker
Subject: Re: Greensburg City Hall - PR#007 Pricing Needed!

P-7 Add

Add \$480 for labor

Add \$120 for disposal

Total add \$600

Jeff Caudill

Project Manager

New MAILING Address: PO Box 360, Harrison, OH 45030

New PHYSICAL Address: 257 Siefferman Rd, West Harrison, IN 47060

Former Address: 27560 Lawrenceville Road, Sunman, IN 47041

513.800.6928

AlphaDemolnc.com

On Fri, Mar 5, 2021 at 9:15 AM Connor Blaker <CBlaker@cpmconstruction.com> wrote:

All,

Please see the attached PR#007 that I received from the Architect last night. This is a large Proposal Request that has many different parts to it, so please be sure to review all items listed on the first 2 pages of the PR as well as all of the revised plan pages that are changed as a result.

When pricing up, please break your pricing down per item as listed on the first 2 pages of the attached PR.

I realize that this is a lot to review and price, but as to not delay the job, **I am needing all pricing by EOD Wednesday (3/10).** Tyler Sizelove is the estimator that originally bid this job and he will be helping me in getting all of these prices gathered up.

If you have any questions or concerns about this please reach out to Tyler Sizelove or myself.



8481 Bash St., Suite 1400
Indianapolis, IN 46250
(317) 841-0221 Fax (317) 841-0510
rturpin@hufcor.com

Quotation

Project Name: Renovation of Greensburg City Hall

To:	GC
Date:	11.23.2020
Pages:	2

WE ARE PLEASED TO QUOTE THE FOLLOWING: Section 10 22 39 Folding Panel Partitions as manufactured by Hufcor, Inc.

Series 642 Manually Operated Paired Panel Partition

One Single Partitions 39'-10 1/2" +/- wide x 14'-0" high

- 52STC
- Continuous contact bottom seals
- Viny sweep top seals
- Expandable lever closure jamb
- Capped edge vertical trim as specified
- Clear anodized aluminum ceiling saver track
- One pass door included with Exit sign, concealed door closure, sweep seals, ADA compliant hardware
- Finish to be selected from manufacturer's standard vinyl selections and trim color selections
- Two year warranty

The above delivered and installed in openings properly prepared by others ...

\$21,730.00 Freight included

Credit to delete per Item 3A

\$21,730 - \$600 (cancellation fee) = \$21,130 Total Credit that can be issued

Notes/Exclusions:

- 1) Steel support and the punching of same for our threaded rods is by others.
- 2) Blocking is by others.
- 3) Specs mention **Pocket doors** but none are shown on the drawings. If **Pocket Doors** are required ADD \$1,298.00 to the based bid price.

We acknowledge Add 1 and 2.

This quote is good until December 23, 2020. Thank you for the opportunity to quote you.



AIA[®] Document G709[™] – 2018

Proposal Request

PROJECT: <i>(name and address)</i>	CONTRACT INFORMATION:	Architect's Project Number: 2063-1044-90
Greensburg City Hall Renovation 314 West Washington Street, Greensburg, Indiana 47240	Contract For: General Construction Date: 12/07/2020	Proposal Request Number: 007 Proposal Request Date: 03/04/2021
OWNER: <i>(name and address)</i>	ARCHITECT: <i>(name and address)</i>	CONTRACTOR: <i>(name and address)</i>
Joshua Marsh, Mayor 314 West Washington Street, Greensburg, Indiana 47240	DLZ Indiana, LLC 138 N. Delaware St, Indianapolis, IN 46204	CPM Construction 10053 N. Hague Rd, Indianapolis, Indiana 46256

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Seven (7) days or notify the Architect in writing of the anticipated date of submission.

(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)

Contractor shall provide a separate cost for each of the items below:

Item No. 1 Corridor A111:

- a) Add the removal of the display assembly complete including columns, bulkhead, partition wall and lighting. Repair, patch and paint the wall as required to match adjacent surface as indicated on attached drawings.
- b) Revise the ceiling plan to accommodate the removal of display assembly as shown in attached drawings.

Item No. 2 Conference A104:

- a) Add millwork resilient base at location shown in attached drawings.
- b) Adjust height of bulkhead as shown in attached drawings.
- c) Remove casework on West wall that was part of base bid as shown in attached drawings.
- d) Remove existing door frame complete. Patch, paint, and repair as required to match adjacent surfaces.

Item No. 3 Multi-Purpose Room A141:

- a) Remove the folding panel partition wall, folding panel partition wall pocket and associated structure from the project scope as indicated on attached drawings.
- b) Revise ceiling plan eliminating the folding partition wall pocket as indicated on the attached drawings.
- c) Infill existing recesses with CMU and add fabric wrapped acoustical panels on the south wall as indicated on the attached drawings.
- d) Revise carpet floor plan eliminating the folding panel partition pocket as indicated on the attached drawings.
- e) Remove thermostat and CO2 sensor with the elimination of the folding panel partition as indicated on the attached Mechanical Drawing
- f) Revise lighting control in Multi-Purpose Room as shown in attached Electrical Drawings.
- g) Remove power, communications outlet, and surface raceway to TV display on south wall.
- h) Remove 98" display and associated mounting bracket from AV package.
- i) Revise fire alarm devices as indicated on attached Electrical Drawing.

Item No. 4 Planning Meeting Room A169: (Provide a separate line item cost for the following changes:)

- a) Add a new partition wall along the East side to conceal wall imperfections on existing wall as indicated on attached drawings.
- b) Revise lighting plan in Planning Meeting Room as shown in attached Electrical Drawings.
- c) Revise power/data as shown in attached Electrical Drawings.
- d) Revise demo status of devices behind furred out East wall as shown in attached Electrical Drawings.

Item No. 5 Plan Director's Office A172: (Provide a separate line item cost for the following changes:)

- a) Add a new partition wall along the East side to conceal wall imperfections on existing wall as indicated on attached drawings.
- b) Revise lighting plan in Plan Director's Office as shown in attached Electrical Drawings.
- c) Revise power/data as shown in attached Electrical Drawings.
- d) Revise demo status of devices behind furred out East wall as shown in attached Electrical Drawings.

Item No. 6

- a) Lower ceiling height to 8'-1 1/2" in rooms: Training A127, Conference A124, Conference A121, Office A119, Plan Director's Office A172, Planning Meeting Room A169, City Engineer A166.

Item No. 7 Office A107

- a) Provide a bulkhead as shown in attached drawings.
- b) Lower East portion of ceiling to 8'-0" as shown in attached drawings.
- c) Revise lighting control in room as indicated on attached Electrical Drawing.

Item No. 8 Storage A110

- a) Lower ceiling to 7'-10" as shown in attached drawings.

Item No. 9 Drawing M2.1 - Ductwork Plan - Unit A

- a) Adjust air terminals, ductwork and associated items as indicated on the drawings.
- b) Adjust air terminals to match updated ceiling grid.

Item No. 10 Drawing M2.2 - Ductwork Plan - Unit B

- a) Adjust air terminals, ductwork and associated items as indicated on the drawings.

Item No. 11 Drawing M2.3 - HVAC Roof Plan

- a) Adjust locations of exhaust fans as indicated on the drawings.

Item No. 12 M3.1 - Hydronic Piping Insulation Plan - Unit A

- a) Adjust routing of hydronic lines as indicated on the drawings.
- b) Remove thermostat and CO2 sensor serving VAV1-3. Single thermostat and CO2 sensor to control VAV boxes VAV 1-1, VAV 1-2 and VAV 1-3 as indicated on the drawings.

Item No. 13 M3.2 - Hydronic Piping Installation Plan - Unit B

- a) Adjust routing of hydronic lines as indicated on the drawings.

Item No. 14 M6.1 - Mechanical Equipment Schedules

- a) Adjust parameters for new air terminal as indicated on the schedules.

Item No. 15 M6.2 - Mechanical Equipment Schedules - 2

- a) Adjust parameters for new vertical fan coil units as indicated on the schedules.

Item No. 16 PD2.4 - First Floor Plumbing Removal Plan - Unit A

- a) Updated demolition requirements for existing plumbing systems in Multipurpose room, see attached drawings.

Item No. 17 Mayors Office A177 and Admin A176:

- a) Revise lighting control as indicated on Electrical Drawing.

Item No. 18 E1.0 - Partial Site Plan - Electrical

- a) Add raceways between Transaction B112 and Island for future power and communications cabling.

Item No 19 E2.1 - First Floor Mezzanine Power Plan - Unit A

- a) Revise locations of Fan Coil Units 6, 7, 8, 22 & 23 as indicated on attached Electrical Drawing.

Item No. 20 E6.2 - Mechanical Equipment - Electrical Connection Schedule

- a) Revise locations of Fan Coil Units 6, 7, 8, 22 & 23 as indicated on attached Electrical Drawing.
- b) Revise OCP amperage for Fan Coil Unit 8 as indicated on attached Electrical Drawing.

Item No. 21 E7.3 - Panelboard Schedules

a) Panel 2L - Revise Trip rating on Circuit #21 'Fan Coil Unit 8' as indicated on attached Electrical Drawing.

Attachments:

G9.1 - CONFERENCE A104 REMOVAL PLAN
G9.2 - CONFERENCE A104 PLAN
G9.3 - CONFERENCE A104 REMOVAL ELEVATION
G9.4 - CONFERENCE A104 CEILING PLAN
G9.5 - MULTI-PURPOSE PLAN
G9.6 - MULTI-PURPOSE ELEVATION
G9.7 - MULTI-PURPOSE CEILING PLAN
G9.8 - PLANNING MEETING ROOM A169 PLAN
G9.9 - PLANNING MEETING ROOM CEILING PLAN
G9.10 - PLAN DIRECTOR'S OFFICE A172 PLAN
G9.11 - PLAN DIRECTOR'S OFFICE CEILING PLAN
G9.12 - OFFICE A107 CEILING PLAN
G9.13 - ADA UNISEX TOILET CEILING PLAN

S1.0 - GENERAL NOTES, SELECTIVE DEMO, FOUNDATION AND FRAMING PLANS

PD 2.4 - FIRST FLOOR PLUMBING REMOVAL PLAN - UNIT A

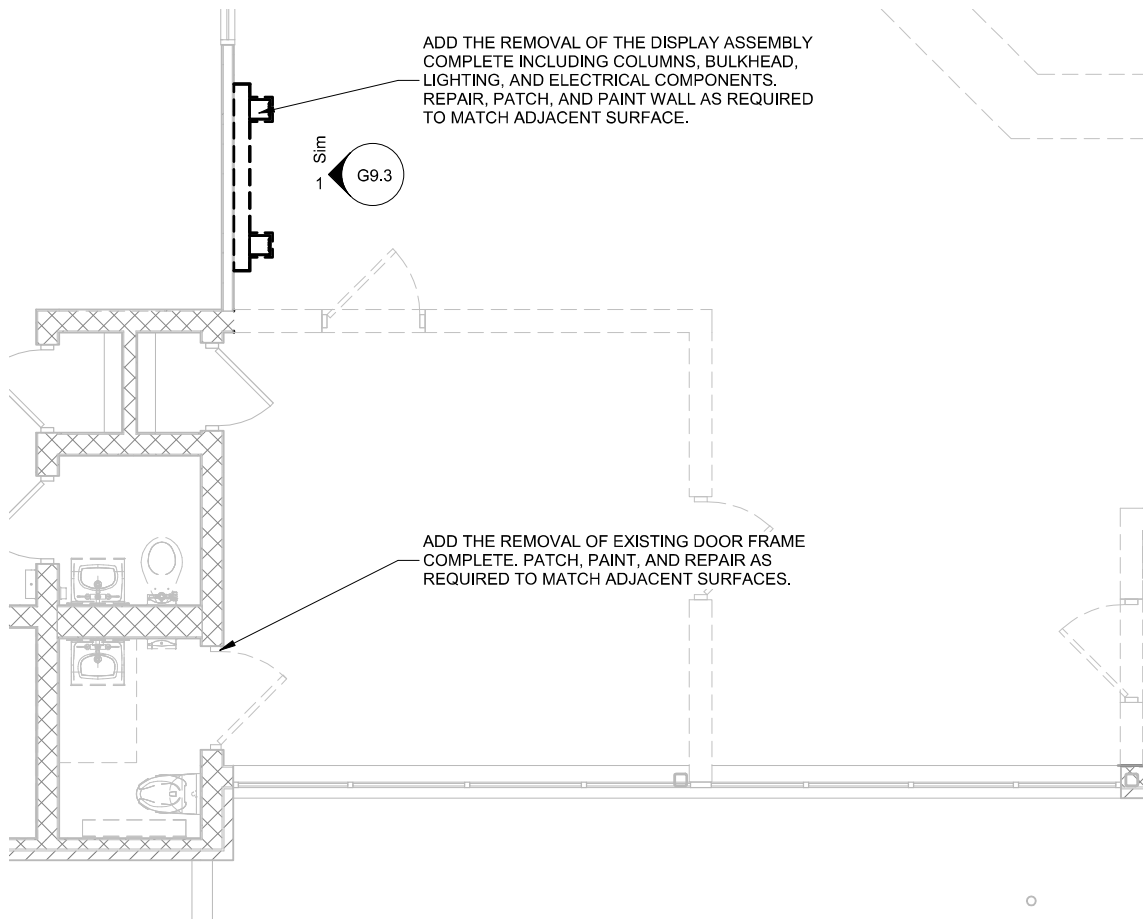
M2.1 - DUCTWORK PLAN - UNIT A
M2.2 - DUCTWORK PLAN - UNIT B
M2.3 - HVAC ROOF PLAN
M3.1 - HYDRONIC PIPING INSTALLATION PLAN - UNIT A
M3.2 - HYDRONIC PIPING INSTALLATION PLAN - UNIT B
M6.1 - MECHANICAL EQUIPMENT SCHEDULES
M6.2 - MECHANICAL EQUIPMENT SCHEDULES - 2

ED2.1 - FIRST FLOOR AND MEZZANINE POWER & SYSTEMS REMOVAL PLAN - UNIT A
E1.0 - PARTIAL SITE PLAN - ELECTRICAL
E2.1 - FIRST FLOOR AND MEZZANINE POWER PLAN - UNIT A
E2.2 - FIRST FLOOR POWER PLAN - UNIT B
E3.1 - FIRST FLOOR AND MEZZANINE LIGHTING PLAN - UNIT A
E4.1 - FIRST FLOOR AND MEZZANINE SYSTEMS PLAN - UNIT A
E4.2 - FIRST FLOOR SYSTEMS PLAN - UNIT B
E6.2 - MECHANICAL EQUIPMENT - ELECTRICAL CONNECTIONS SCHEDULE
E7.3 - PANELBOARD SCHEDULES

THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.


REQUESTED BY THE ARCHITECT:

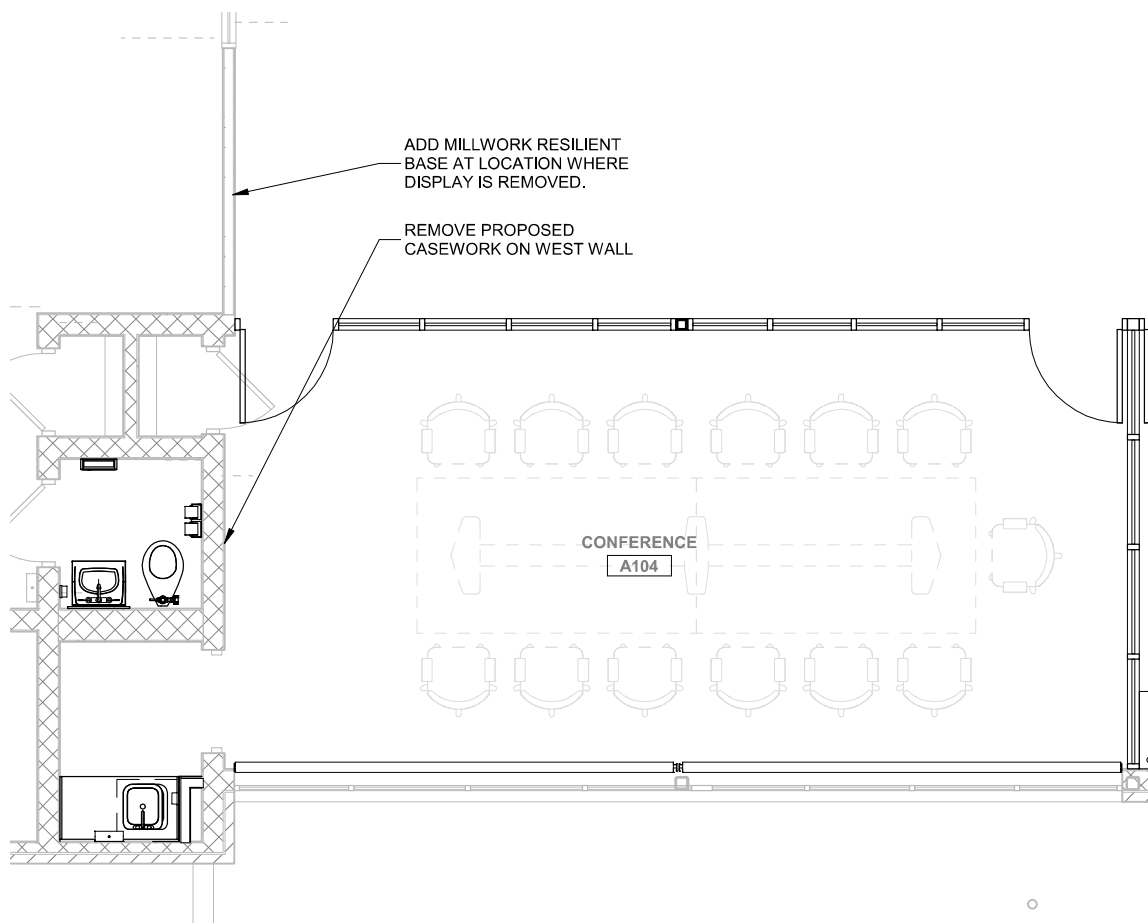
Eric B. Ratts, Principal Architect
PRINTED NAME AND TITLE




1 CONFERENCE PLAN - PR007 REMOVAL
 SCALE: 1/4" = 1'-0"
 NORTH


CONTRACTOR SHALL FIELD
 VERIFY ALL CONDITIONS AND
 DIMENSIONS

 ARCHITECTURE - ENGINEERING - PLANNING 1000 E. 10TH AVE. SUITE 200, DENVER, CO 80202 Select DLZ Company	RENOVATION OF THE GREENSBURG CITY HALL CONFERENCE A104 REMOVAL PLAN	REMARKS:	SKECH NUMBER
			G9.1 GENERAL
		PROJECT NO: 2063-1044-90	
		DATE: 03/02/2021	




1 CONFERENCE PLAN - PR007
 SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
 VERIFY ALL CONDITIONS AND
 DIMENSIONS

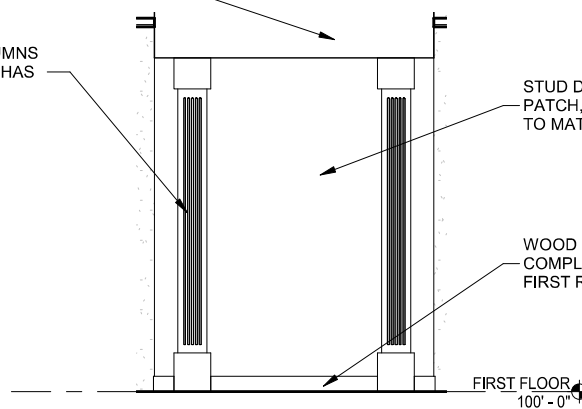
 <small>ARCHITECTURE • ENGINEERING • PLANNING</small> <small>SELECT DLZ COMPANY</small>	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
		PROJECT NO: 2063-1044-90	G9.2
	CONFERENCE A104 PLAN	DATE: 03/02/2021	
			GENERAL

EXISTING BULKHEAD AND
LIGHTING TO BE REMOVED
COMPLETE. PATCH, PAINT, AND
REPAIR AS REQUIRED TO
MATCH ADJACENT SURFACE.

WOOD VENEER AND COLUMNS
TO BE REMOVED. OWNER HAS
RIGHT OF FIRST REFUSAL

STUD DISPLAY WALL TO BE REMOVED.
PATCH, PAINT, AND REPAIR EXISTING WALL
TO MATCH ADJACENT SURFACE.


WOOD BASE TO BE REMOVED
COMPLETE. OWNER HAS RIGHT OF
FIRST REFUSAL



1 DISPLAY REMOVAL ELEVATION

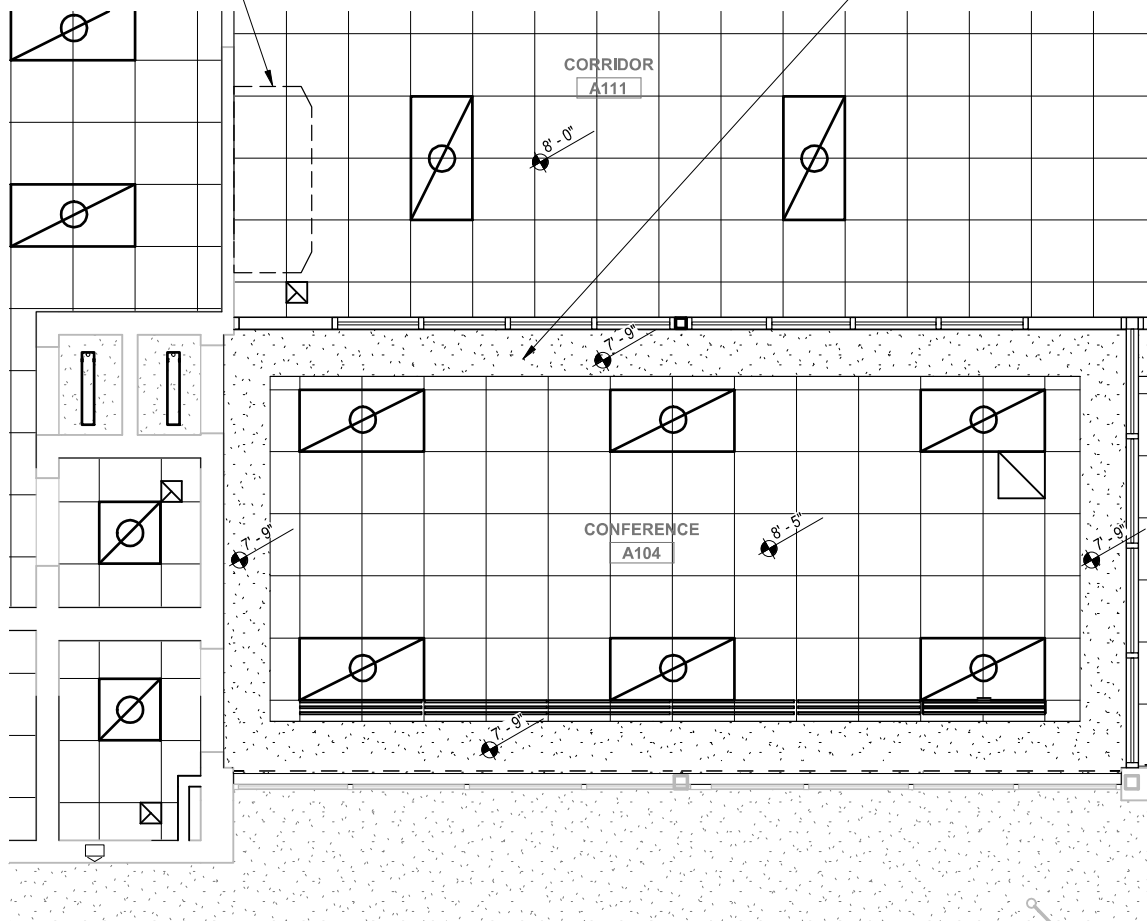
SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS

 <p>ARCHITECTURE • ENGINEERING • PLANNING SELECT DLZ COMPANY</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>CONFERENCE A104 REMOVAL ELEVATION</p>	REMARKS:	SKETCH NUMBER
			G9.3
		PROJECT NO: 2063-1044-90	
		DATE: 03/02/2021	GENERAL

REVISE CEILING PLAN AS SHOWN
TO ACCOMMODATE REMOVED
DISPLAY WALL


LOWER HEIGHT OF PERIMETER
BULKHEAD BY 3" TO A NEW
HEIGHT OF 7'-9"



CONFERENCE A104 CEILING PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS

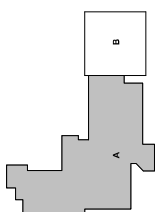
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RENOVATION OF THE
GREENSBURG CITY HALL
314 WEST WASHINGTON STREET
GREENSBURG, INDIANA 47240

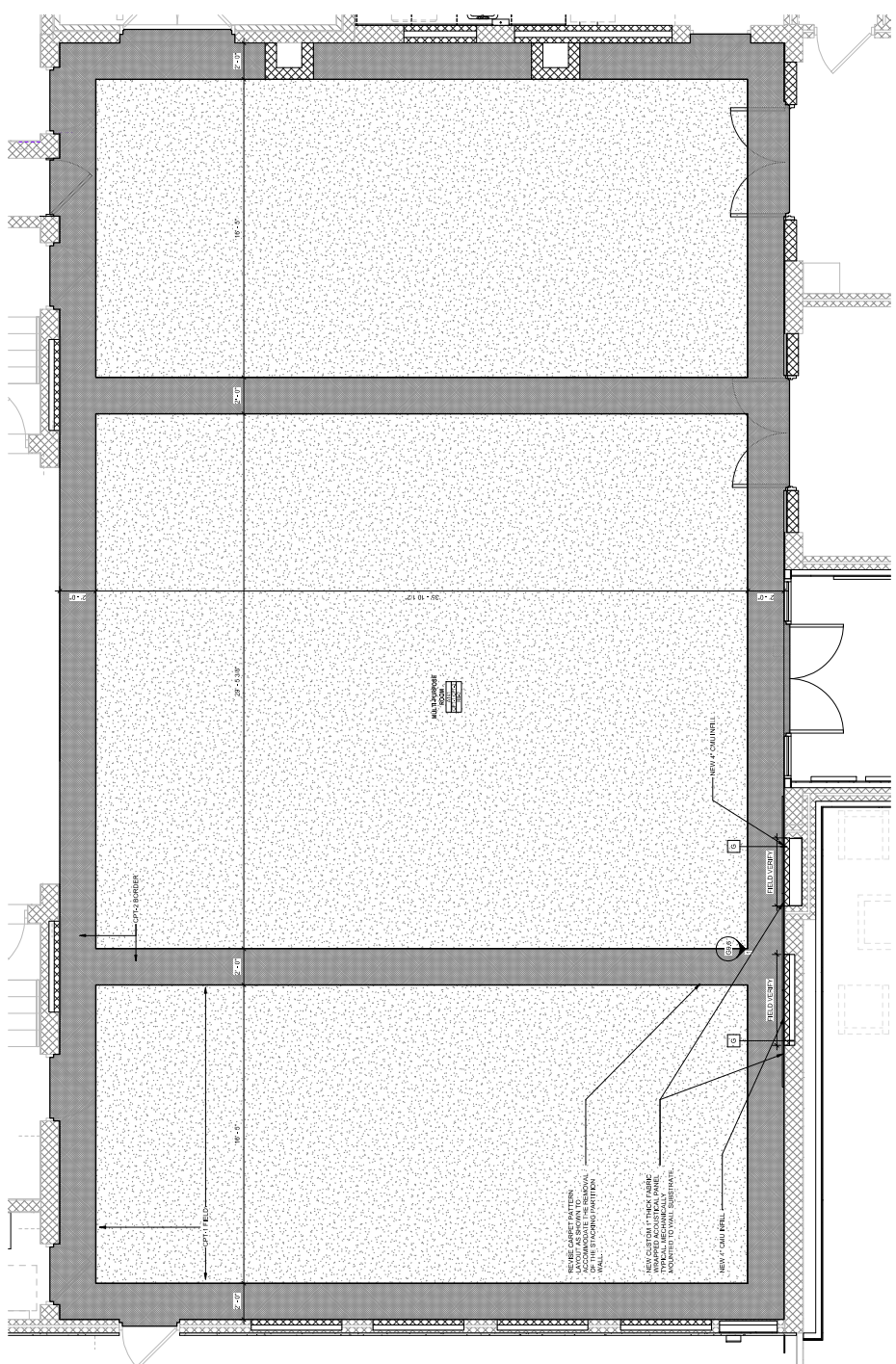
MULTI PURPOSE PLAN

PROJECT NUMBER	2063-1044-90
DATE	10/12/2021
DESIGNED BY	
CHECKED BY	
NO.	
REVISION	
DATE	

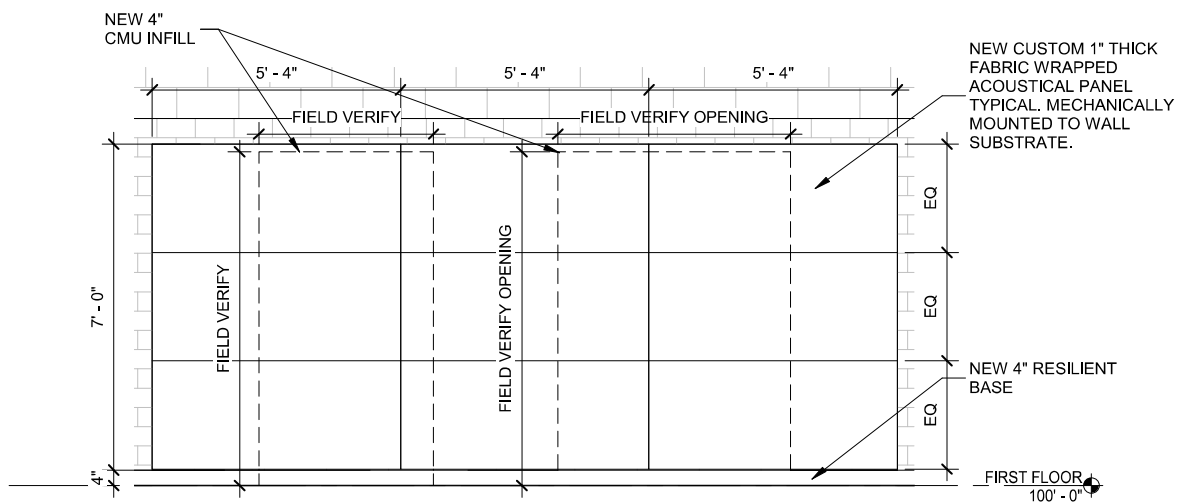


KEYPLAN

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS




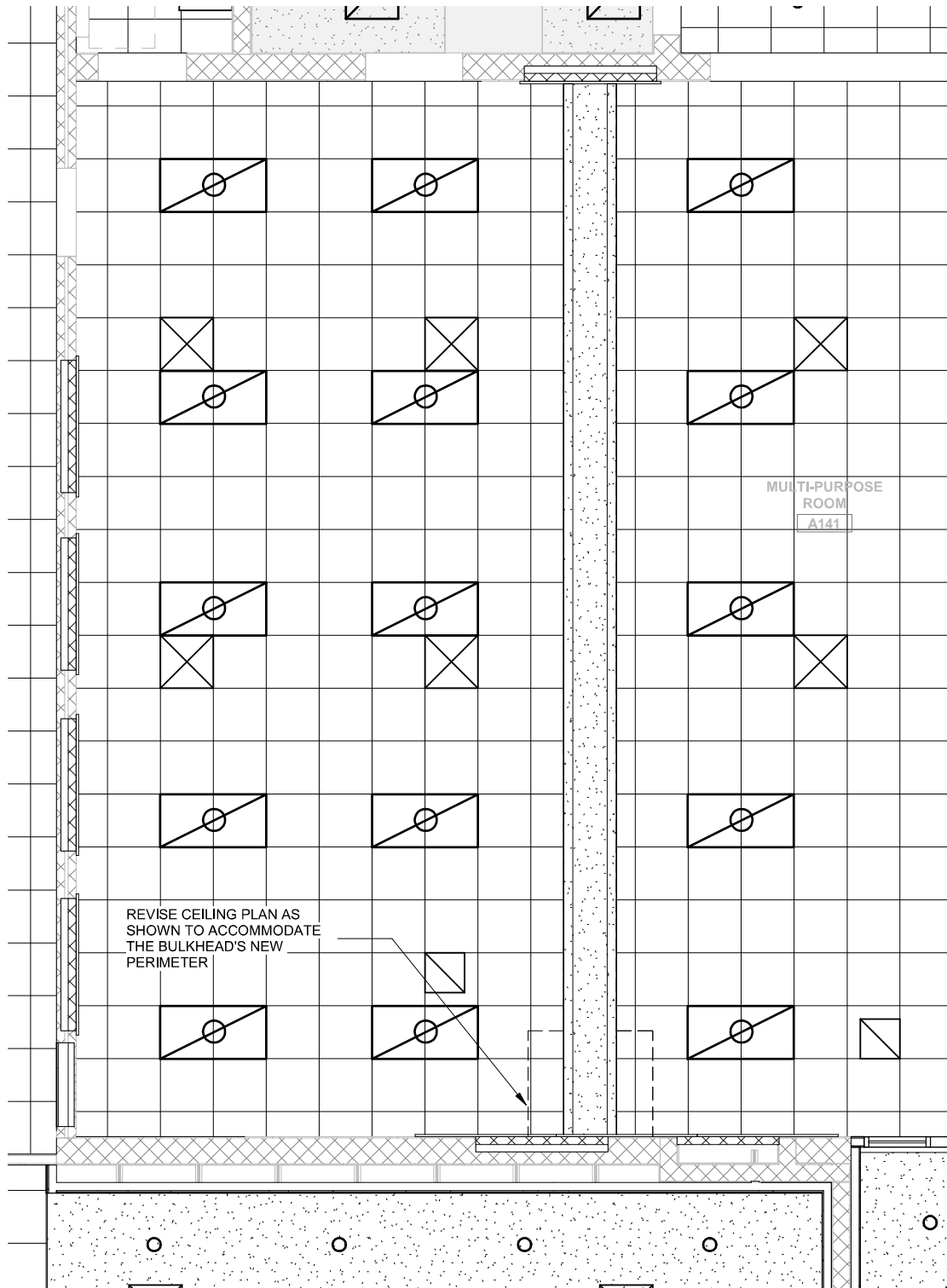
1 MULTI-PURPOSE PLAN
SCALE: 1/8\"/>



1 MULTI-PURPOSE A141 ELEVATION
SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS

 ARCHITECTURE • ENGINEERING • PLANNING <small>SELECT DLZ COMPANY</small>	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			G9.6
	MULTI PURPOSE ELEVATION	PROJECT NO: 2063-1044-90	
		DATE: 03/02/2021	GENERAL



1

MULTI-PURPOSE CEILING PLAN PR007

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS



ARCHITECTURE • ENGINEERING • PLANNING
SURVEYING • CONSTRUCTION ADMINISTRATION

Select DLZ Company

RENOVATION OF THE
GREENSBURG CITY HALL

MULTI-PURPOSE CEILING PLAN

REMARKS:

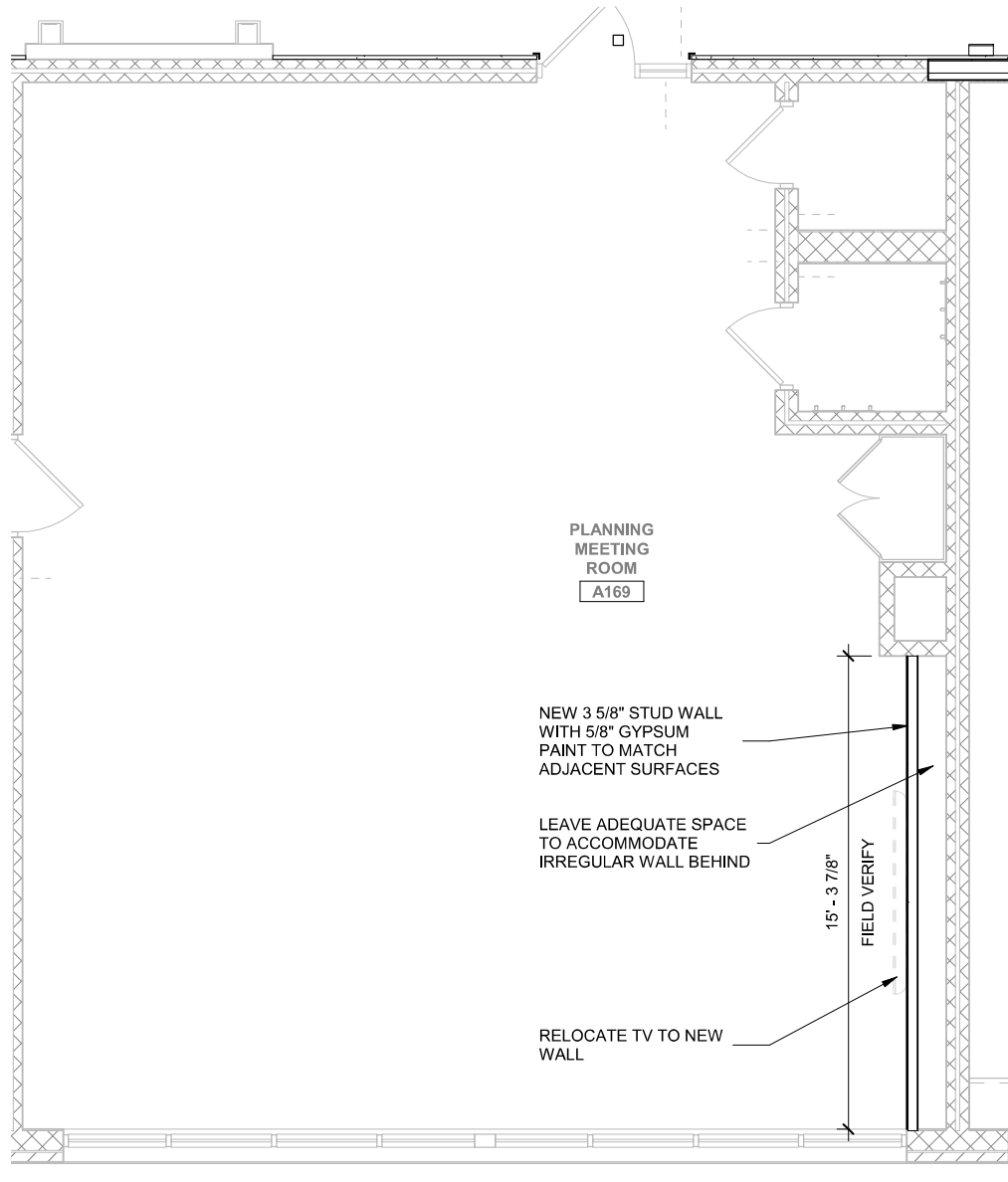
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DATE: 03/02/2021

SKETCH NUMBER

G9.7


GENERAL

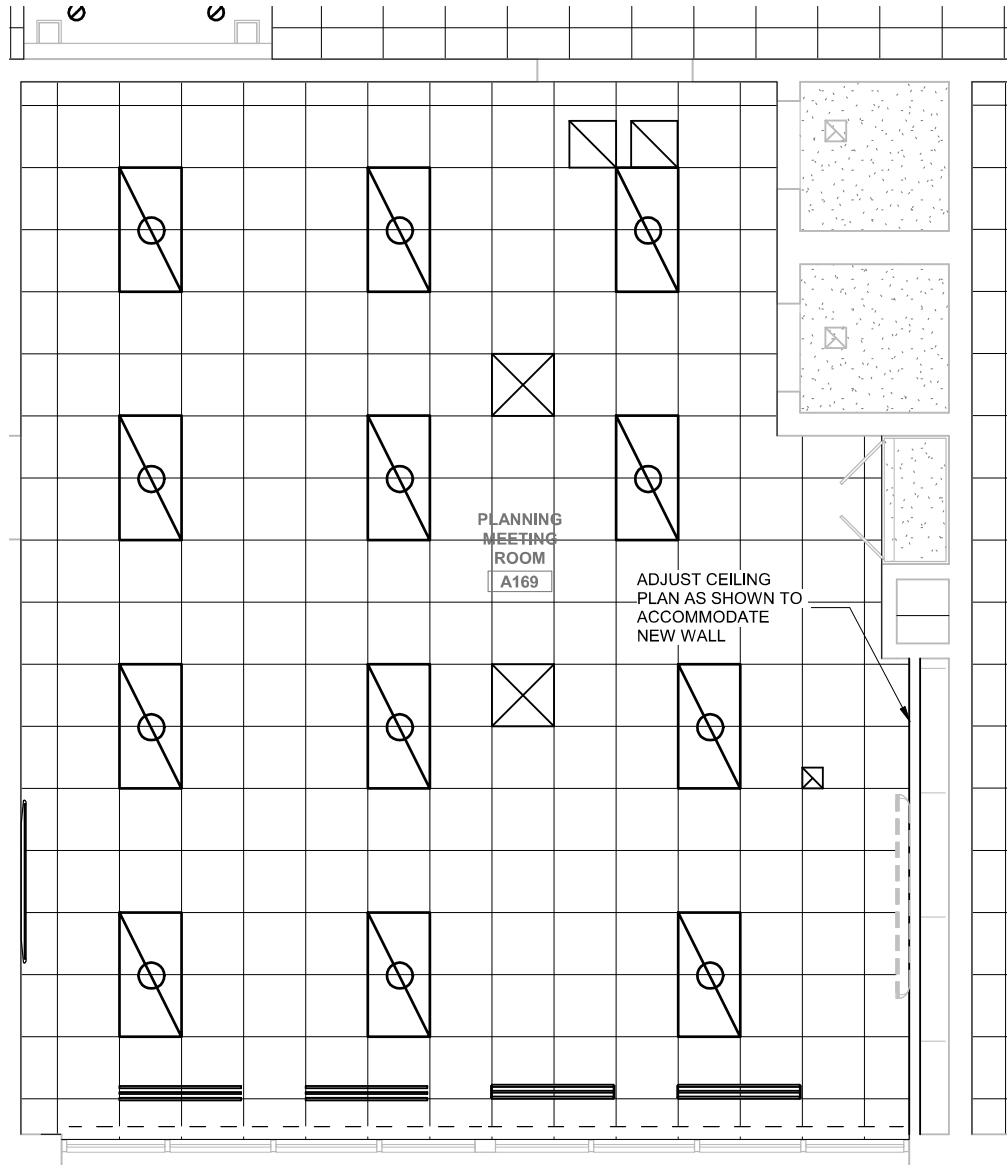


1 PLANNING MEETING ROOM A169 PR007

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS


 <p>ARCHITECTURE • ENGINEERING • PLANNING SUSTAINABLE • PROJECT MANAGEMENT • INTERIOR DESIGN</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>PLANNING MEETING ROOM A169 PLAN</p>	REMARKS:	SKETCH NUMBER
			G9.8
		PROJECT NO: 2063-1044-90	
		DATE: 03/02/2021	GENERAL

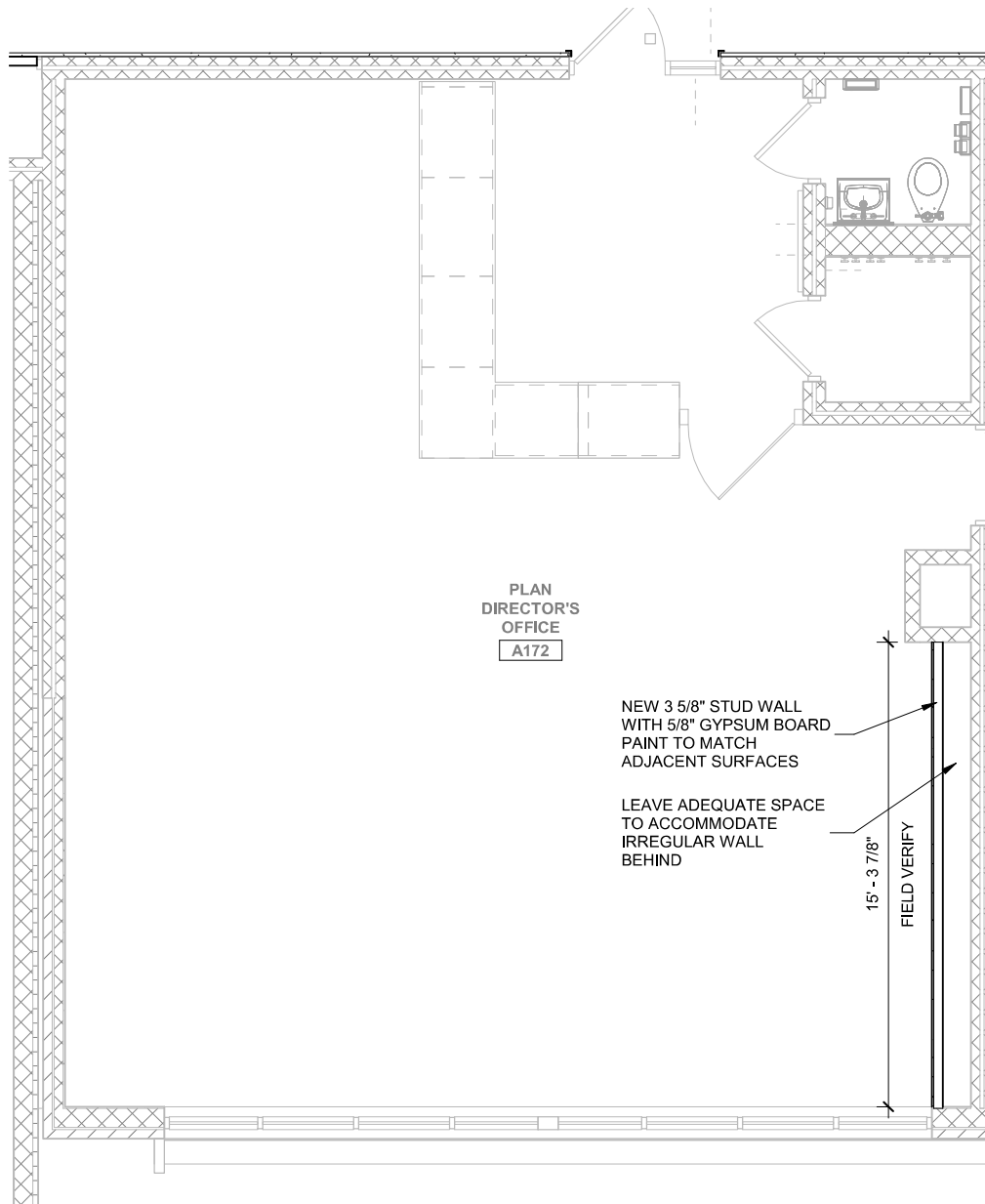


1 PLANNING MEETING ROOM CEILING PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS


 <small>ARCHITECTURE • ENGINEERING • PLANNING LANDSCAPE ARCHITECTURE • INTERIOR DESIGN • HISTORIC PRESERVATION</small> <small>Select DLZ Company</small>	RENOVATION OF THE GREENSBURG CITY HALL	REMARKS:	SKETCH NUMBER
			G9.9
	PLANNING MEETING ROOM CEILING PLAN	PROJECT NO: 2063-1044-90	GENERAL
		DATE: 03/02/2021	

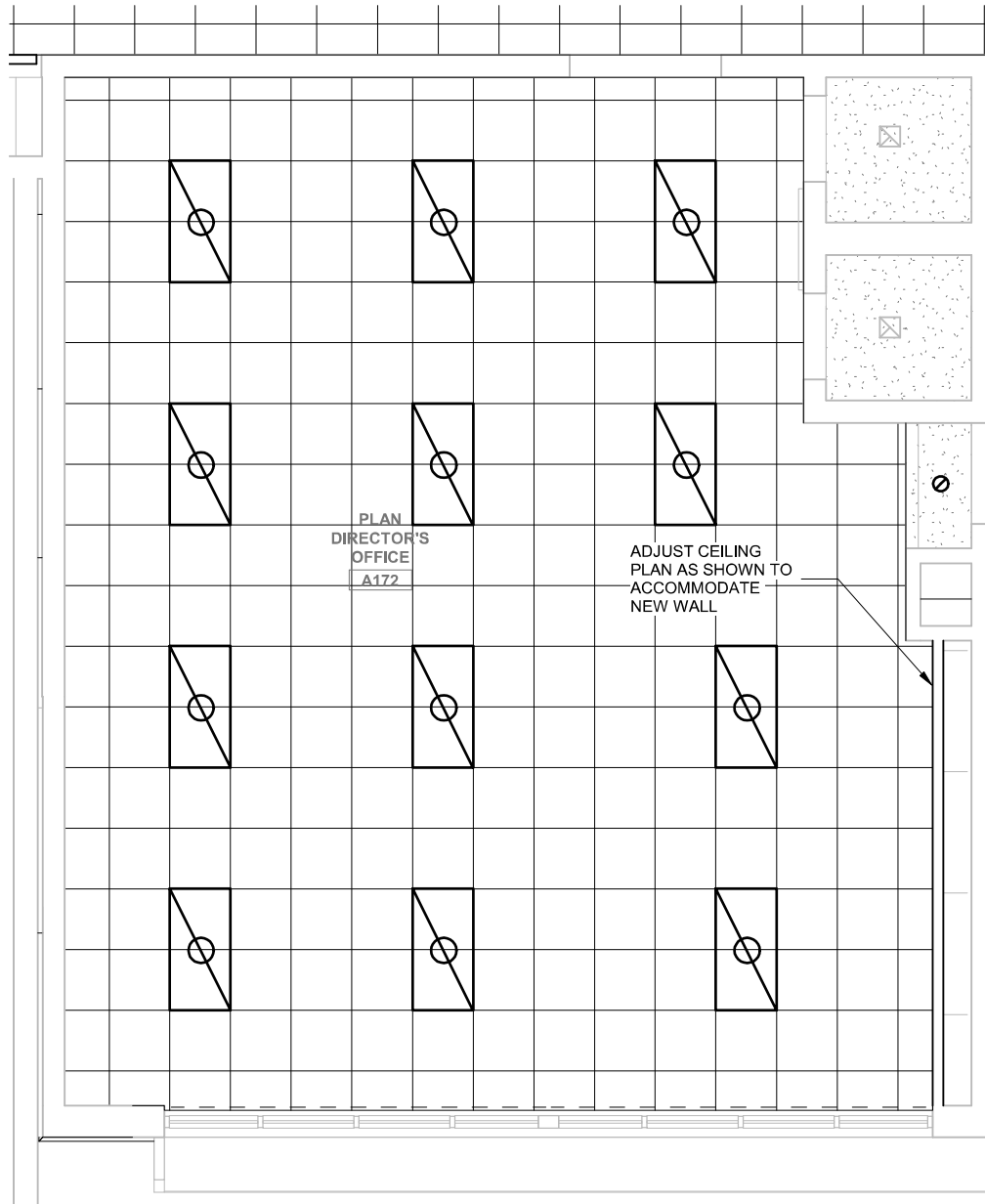


PLAN DIRECTOR'S OFFICE PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS

 <p>ARCHITECTURE • ENGINEERING • PLANNING CONSULTING • PROJECT MANAGEMENT</p> <p>Select DLZ Company</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>PLAN DIRECTOR'S OFFICE A172 PLAN</p>	REMARKS:	SKETCH NUMBER
			G9.10
		PROJECT NO: 2063-1044-90	
		DATE: 03/02/2021	GENERAL

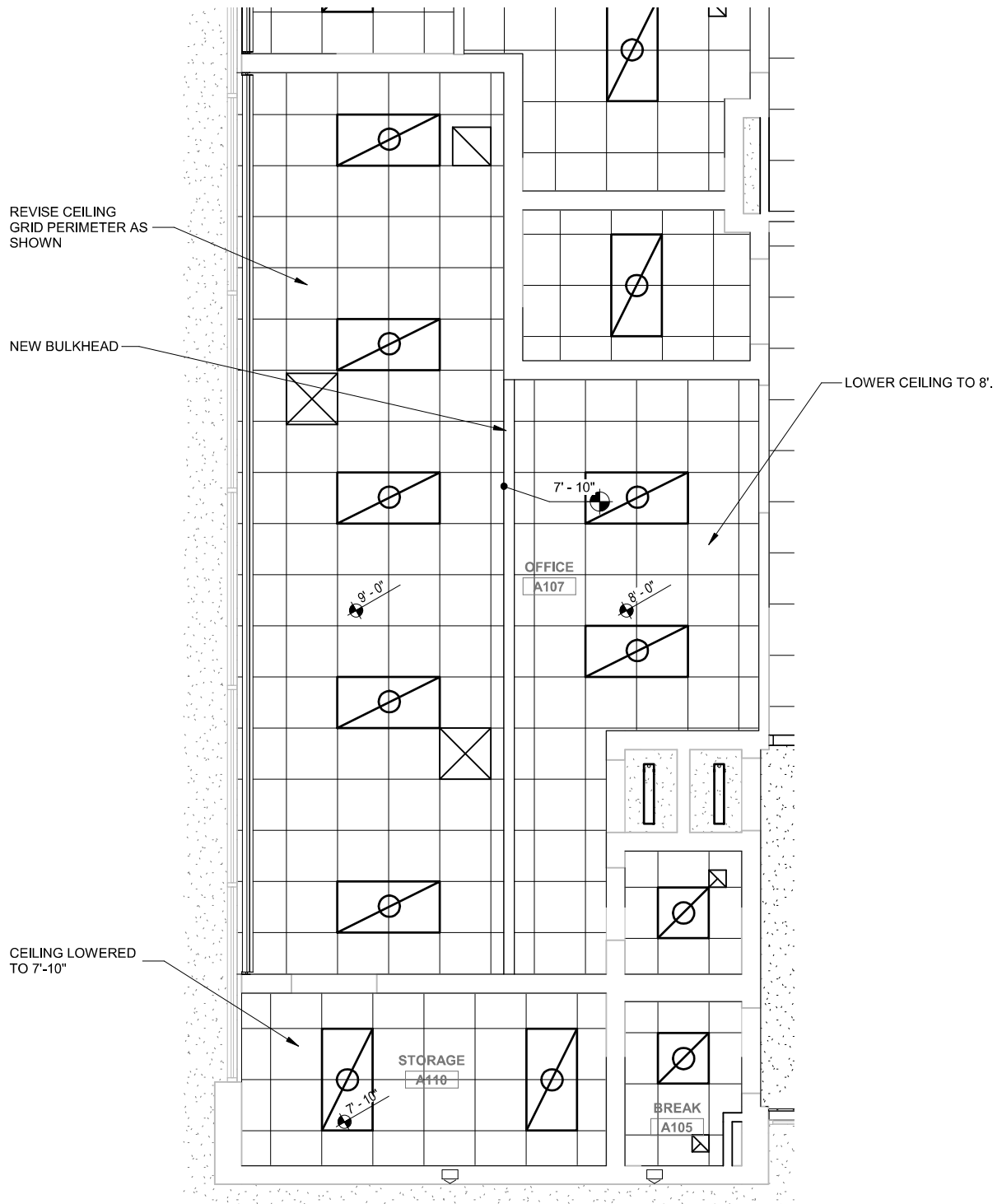


1

PLAN DIRECTOR'S OFFICE CEILING PLAN

SCALE: 1/4" = 1'-0"

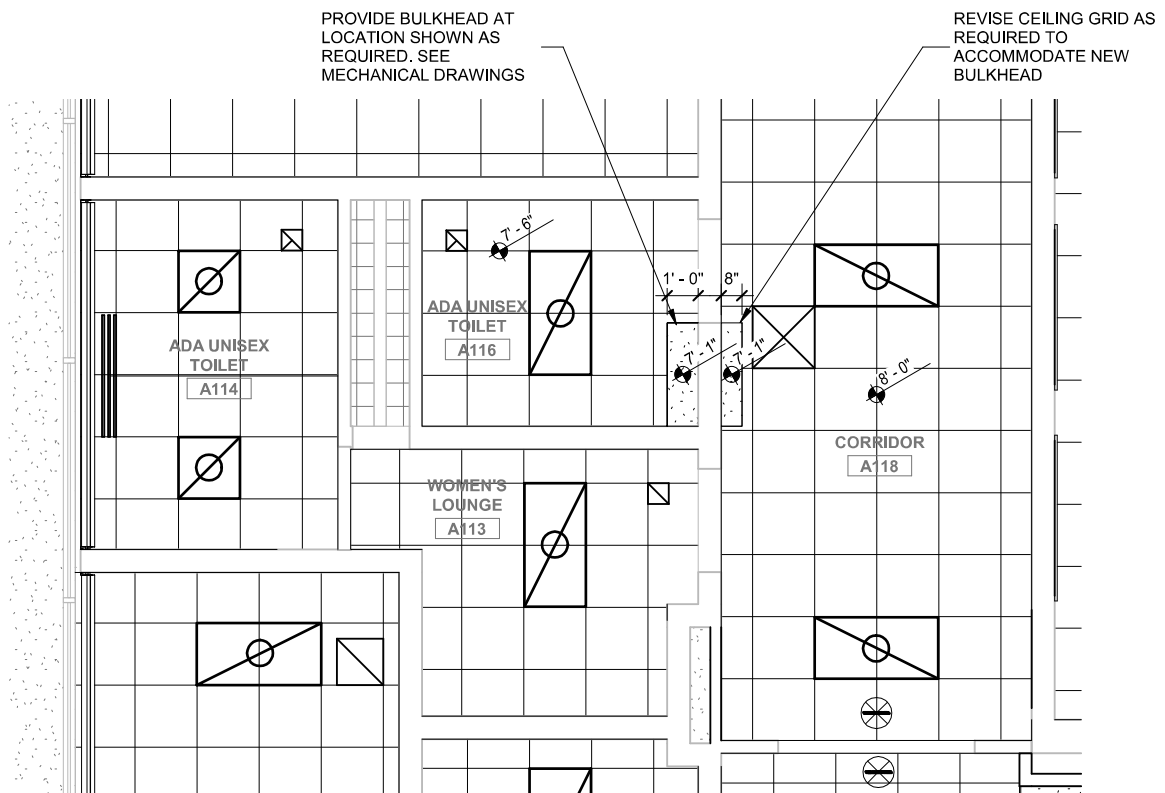
CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS



OFFICE A107 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"


CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS

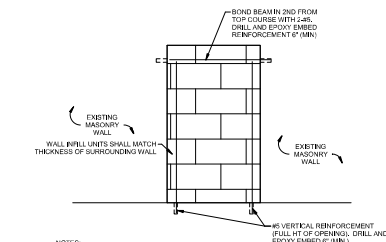


ADA UNISEX TOILET CEILING PLAN

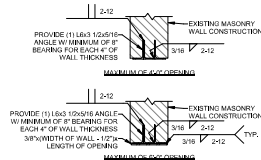
SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL FIELD
VERIFY ALL CONDITIONS AND
DIMENSIONS

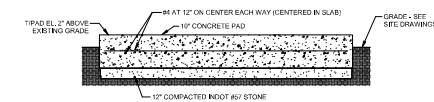
 <p>DLZ ARCHITECTURE - ENGINEERING - PLANNING SELECT DLZ COMPANY</p>	<p>RENOVATION OF THE GREENSBURG CITY HALL</p> <p>ADA UNISEX TOILET CEILING PLAN</p>	<p>REMARKS:</p> <hr/> <hr/> <p>PROJECT NO: 2063-1044-90 DATE: 03/02/2021</p>	<p>SKETCH NUMBER</p> <p>G9.13</p> <p>GENERAL</p>



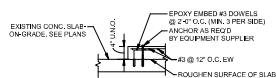
5 INFILL EXISTING MASONRY WALL OPENING
SCALE: N.T.S.



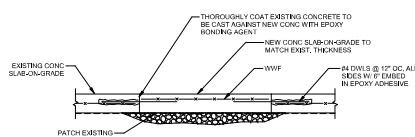
6 TYPICAL STEEL LINTEL FOR WALL PENETRATIONS IN EXISTING CONSTRUCTION
SCALE: N.T.S.



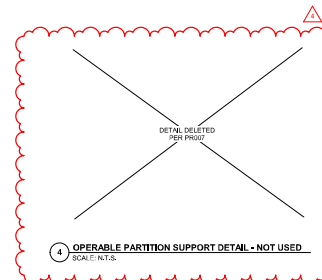
7 TYPICAL EXTERIOR EQUIPMENT PAD DETAIL
SCALE: N.T.S.



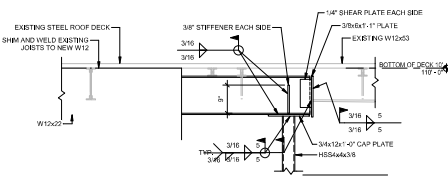
8 TYPICAL INTERIOR CONCRETE EQUIPMENT PAD REINFORCING DETAIL
SCALE: N.T.S.



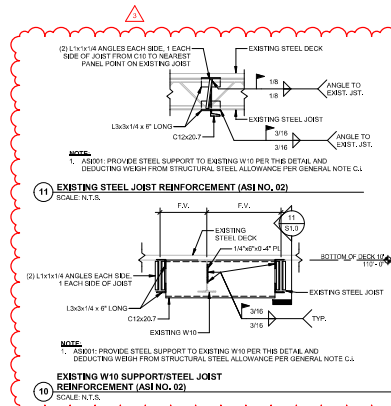
9 TYPICAL SLAB-ON-GRADE PATCH/INFILL SECTION
SCALE: N.T.S.



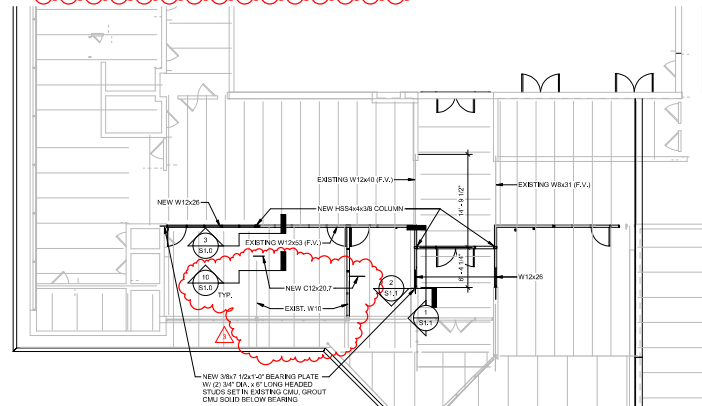
4 OPERABLE PARTITION SUPPORT DETAIL - NOT USED
SCALE: N.T.S.



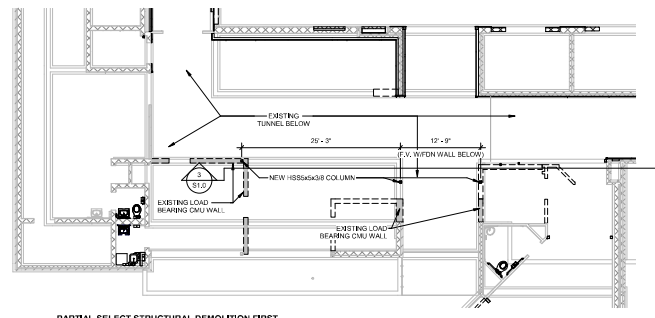
1 SECTION
SCALE: 3/8\"/>



11 EXISTING STEEL JOIST REINFORCEMENT (ASI NO. 02)
SCALE: N.T.S.



2 PARTIAL EXISTING STRUCTURAL ROOF FRAMING
PLAN
SCALE: 1/8\"/>

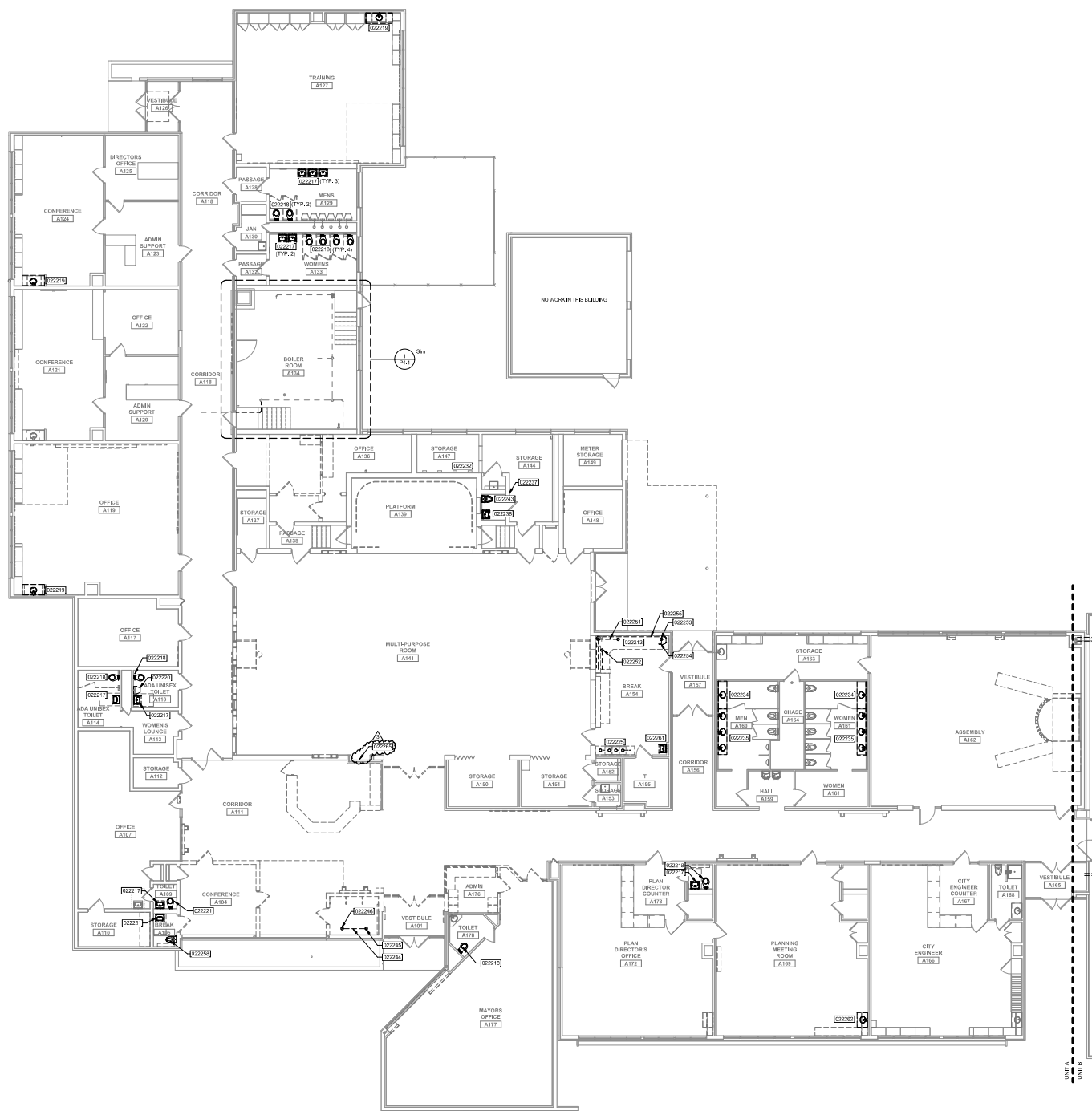


1 PARTIAL SELECT STRUCTURAL DEMOLITION FIRST
FLOOR PLAN
SCALE: 1/8\"/>

GENERAL NOTES:

- REFER TO S1.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
- SELECTIVE STRUCTURAL DEMOLITION:

- AREAS OF THE EXISTING STRUCTURE REQUIRING DEMOLITION AND REMOVAL OF SELECTED PORTIONS OF THE BUILDING OR STRUCTURE.
 - PREDEMOLITION MEETINGS SHALL BE CONDUCTED TO DISCUSS CONDITION OF CONSTRUCTION TO BE SELECTIVE DEMOLITION, REVIEW STRUCTURAL LIMITATIONS, REVIEW AND FACILITIES NEEDED TO MAKE PROGRESS AND AVOID DELAYS, REVIEW REQUIREMENTS OF WORK PERFORMED BY OTHER TRADES THAT RELY ON THE SUBSTRATE EXPOSED BY SELECTIVE DEMOLITION OPERATIONS AND REVIEW AREAS WHERE EXISTING CONSTRUCTION IS TO REMAIN AND REQUIRES PROTECTION. EXISTING STRUCTURE TO BE SELECTIVE DEMOLISHED AND REMOVED SHALL BE EXPOSED TO THE GREATEST EXTENT POSSIBLE PRIOR TO PREDEMOLITION MEETING.
 - VERIFY ALL EXISTING CONDITIONS TO THE GREATEST EXTENT POSSIBLE PRIOR TO ANY STRUCTURAL DEMOLITION, CONSTRUCTION AND/OR FABRICATION. NOTIFY ENGINEER IMMEDIATELY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
 - PROVIDE AND MAINTAIN TEMPORARY SHORING, BRACINGS AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT (SETTLEMENT) OF COL LAPS OR CONSTRUCTION AND REPAIRS TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED, STRENGTHENED OR ADD NEW SUPPORTS WHEN REQUIRED BY CONTRACTORS SHOWING USE DURING PROGRESS OF SELECTIVE DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR SELECTING THE APPROPRIATE MEANS OF PROTECTION AND SHOWING SYSTEM TO COMPLETE CONSTRUCTION, WHICH SHALL BE ENGINEERED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF INDIANA.
 - CONTRACTOR IS NOT RESPONSIBLE FOR SELECTING THE CONTRACTORS MEANS, METHOD, TECHNIQUES, CONSTRUCTION SEQUENCE OR SAFETY PROCEDURES FOR THE CONTRACTORS TO COMPLETE CONSTRUCTION.
- C. STRUCTURAL STEEL:
- STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ANSMBSC 360-58 (ASD) AND AISC 360-16 (CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES).
 - BEAMS, COLUMNS, GIRTS, OTHER MAIN FRAMING MEMBERS: ASTM A992.
 - PLATES, BARS, RODS AND ANGLES: ASTM A36.
 - HOLLOW STRUCTURAL STEEL (HSS): ASTM A500 GRADE B.
 - ANCHOR BOLTS: ASTM F1554, GRADE 36.
 - HIGH STRENGTH BOLTS: A325 WITH THREADS EXCLUDED FROM THE SHEAR PLANE.
 - FILLER METAL FOR WELDING: SCHEDULED METAL ARC WELDING - AWS A5.1 OR A5.5 OR E70XX.
 - WELD CERTIFICATES FOR REQUIRED WELD POSITIONS SHALL BE SUBMITTED AND APPROVED PRIOR TO ANY STEEL BEING WELDED.
 - PROVIDE FOR 1 TON OF STEEL FOR USE AS DIRECTED BY STRUCTURAL ENGINEER OF RECORD, TO INCLUDE BUT NOT LIMITED TO WELD FLANGES, CHANNELS, ANGLES, PERMS, HSS PLATES AND BARS AS WELL AS ANY AND ALL RELATED NOTES TO WELDED CONNECTIONS. THIS TONNAGE IS TO INCLUDE ALL REQUIRED DETAILING, FABRICATION, DELIVERY, FINISHES, AND PROTECTION OF STEEL IN PLACE AS ASSOCIATED WITH CONNECTIONS SPECIFICATIONS. THE DIRECTED USE OF STEEL BY THE STRUCTURAL ENGINEER SHALL BE BASED ON THE GREATEST WEIGHT OF THE VARIOUS COMPLETED STEEL COMPONENTS, NO OVERLAP IN SCALE WEIGHTS, EXCESSIVE BOLTS OR BRIMAT FEMAL, SUCH THAT THE WEIGHT OF ANY ITEM, INCLUDING OR WITHOUT TAIL, WILL BE ALLOWED TO BE ADDED TO THE DIRECTED WEIGHT. DEDUCTION WILL NOT BE MADE FOR BOLT HOLES IN THE MATERIAL.



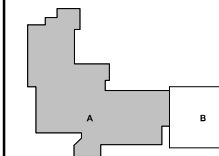
GENERAL DEMOLITION NOTES

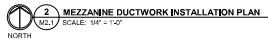
- A. AFFEY TO DRAWINGS OF ALL OTHER SPECIFICATIONS FOR ADDITIONAL REVISIONS AND SELECTIVE DEMOLITION ACTIVITIES.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES PRIOR TO SELECTIVE DEMOLITION ACTIVITIES, ANY WORK PERFORMED IN CONFLICT WITH ANY OF THE ABOVE REQUIREMENTS IS IN CONFLICT WITH THE CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK FOR CLARIFICATION.
- C. FOR THE DURATION OF THE PROJECT IF ANY EXISTING ITEMS (STRUCTURES, UTILITIES, ETC.) ARE TO BE REMOVED, THE CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- D. CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL TEMPORARY PROTECTION, INCLUDING ASSOCIATED RAMPING AND FENCING, REQUIRED TO PROTECT EXISTING UTILITIES AND STRUCTURES.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED, INCLUDING ASSOCIATED RAMP AND FENCING TO PROTECT EXISTING SURFACE.
- F. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY ENVIRONMENTAL CONTROL MEASURES INCLUDING ACCEPTABLE DUST LEVELS, ADEQUATE AIR FLOW, AND PROPER FENCING, CONTROL AND OTHER MEASURES REQUIRED FOR PROTECTION OF EXISTING SELLING SURFACE AND STRUCTURES FROM DEMOLITION CONSTRUCTION ACTIVITIES.
- G. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION DRAWINGS WITH FIELD CONDITIONS AND WORK TO BE DONE ON EACH TRACT.
- H. CONTRACTOR SHALL COORDINATE DEMOLITION ACTIVITIES WITH NEW WORK TO VERIFY DIMENSIONS AND EXTENT OF REMOVALS TO BE DONE ON EACH TRACT.
- I. CONTRACTOR IS RESPONSIBLE FOR REMOVAL, STORAGE AND REINSTALLATION OF REMAINING WALL MOUNTED DEVICES INTERIORS.
- J. ALL FIELDWORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS OF THE STATE OF INDIANA, LOCAL BUILDING CODES, OSHA AND EPCRA.
- K. OWNER RESERVES THE RIGHT TO LAUNCH ANY EQUIPMENT OR MATERIALS THAT MAY BE REQUIRED TO BE REMOVED.

KEYNOTES

- 202101 REMOVE DRAINWAGES AND EXISTING HOT AND COLD WATER PIPING; CONNECT TO EXISTING SANITARY PIPING; REMOVE NO. 10 SINK
- 202117 REMOVE EXISTING LAVATORY; CAP OFF COLD WATER HOT WATER AND SANITARY PIPING FOR FUTURE CONNECTION
- 202118 REMOVE EXISTING WATER CLOSET; CAP EXISTING COLD WATER AND SANITARY PIPING FOR FUTURE CONNECTION
- 202119 REMOVE EXISTING SINK; CAP OFF COLD WATER HOT WATER AND SANITARY PIPING FOR FUTURE CONNECTION
- 202200 REMOVE EXISTING URINAL, ASSOCIATED CONNECTIONS AND PIPES; CONNECTIONS PLUMB FLOOR TO BE RELOCATED TO EXISTING AND HURD SPACE TO RECEIVE NEW FINISH
- 202221 REMOVE EXISTING WATER CLOSET; CAP OFF COLD WATER HOT AND COLD WATER AND SANITARY PIPING FOR FUTURE CONNECTION
- 202230 EXISTING BINK TO BE REMOVED; CAP OFF EXISTING PIPING HOT AND COLD WATER AND SANITARY PIPING FLOORWALL PATCH FLOOR WALL AS NEEDED TO MATCH ADJACENT CONDITIONS
- 202231 EXISTING BINKER CONNECTIONS TO REMAIN IN PLACE
- 202234 REMOVE MANUAL FAUCET SERVING EXISTING LAVATORY
- 202235 REMOVE 10 MANUAL FAUCETS SERVING EXISTING LAVATORY
- 202236 CAP OFF EXISTING PIPE STUBS ABOVE 10 WALL; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS
- 202238 EXISTING LAVATORY AND ASSOCIATED PIPING TO BE REMOVED; CAP OFF PIPES AT THE WALL; 10 WITH 10 FLOORWALL PATCH FLOOR WALL AS NEEDED TO MATCH ADJACENT CONDITIONS
- 202243 EXISTING WATER CLOSET TO BE REMOVED; CAP OFF ASSOCIATED PIPING FLOOR FLOOR TO MATCH ADJACENT CONDITIONS
- 202245 REMOVE EXISTING WATER SERVICE LINE AND ASSOCIATED COMPONENTS; CAP OFF PIPING AT THE FLOOR FLOOR FLOOR TO MATCH ADJACENT CONDITIONS
- 202246 EXISTING 7 WATER LINE DOWN TO TUNNEL
- 202247 EXISTING 7 WATER MAIN LINE FROM TUNNEL BELOW
- 202250 EXISTING EXISTING LAVATORY SERVING THE 10 WALL; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS; PATCH THE FLOOR AND WALLS AS NEEDED TO MATCH ADJACENT CONDITIONS
- 202252 EXISTING GAB IN THE TUNNEL; REMOVE BURNER; REMOVE PIPING LINE IN THE TUNNEL; TIE THE BOLLER; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS
- 202253 EXISTING 10-1/2" HOT WATER FROM THE TUNNEL; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS; PATCH THE FLOOR AND WALLS AS NEEDED TO MATCH ADJACENT CONDITIONS; 10 WITH 10 FLOORWALL PATCH FLOOR WALL AS NEEDED TO MATCH ADJACENT CONDITIONS
- 202294 REMOVE EXISTING 10-1/2" HOT WATER FROM THE TUNNEL; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS; PATCH THE FLOOR AND WALLS AS NEEDED TO MATCH ADJACENT CONDITIONS; 10 WITH 10 FLOORWALL PATCH FLOOR WALL AS NEEDED TO MATCH ADJACENT CONDITIONS
- 202295 REMOVE EXISTING TEMPERED HOT WATER FROM THE TUNNEL; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS; PATCH THE FLOOR AND WALLS AS NEEDED TO MATCH ADJACENT CONDITIONS; 10 WITH 10 FLOORWALL PATCH FLOOR WALL AS NEEDED TO MATCH ADJACENT CONDITIONS; 10 WITH 10 FLOORWALL PATCH FLOOR WALL AS NEEDED TO MATCH ADJACENT CONDITIONS
- 202296 REMOVE EXISTING WATER CLOSET AND BOLLER; REMOVE 10 TIE TO MATCH ADJACENT CONDITIONS; CAP OFF COLD WATER LINE TO CONNECT TO NO. 10 SINK
- 202291 REMOVE EXISTING LAVATORY; ASSOCIATED PIPING AND CONNECTIONS TO BE REMOVED; CAP OFF PIPING AT THE FLOOR FLOOR FLOOR TO MATCH ADJACENT CONDITIONS
- 202292 REMOVE EXISTING BINK; ASSOCIATED PIPING AND CONNECTIONS TO BE REMOVED; CAP OFF PIPING AT THE FLOOR FLOOR FLOOR TO MATCH ADJACENT CONDITIONS
- 202293 REMOVE EXISTING BINK; ASSOCIATED PIPING AND CONNECTIONS TO BE REMOVED; CAP OFF PIPING AT THE FLOOR FLOOR FLOOR TO MATCH ADJACENT CONDITIONS

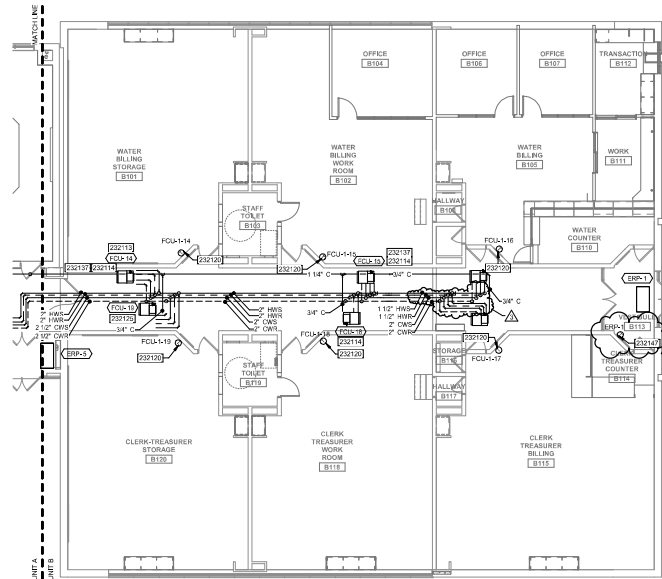
KEYPLAN







A diagram showing a step-like profile (A) and a rectangular block (B) connected by a horizontal line. The profile (A) is on the left, and the block (B) is on the right. The profile (A) has a series of steps of varying heights. The block (B) is a solid rectangle. The horizontal line connects the right side of the profile (A) to the left side of the block (B).



1 HYDRONIC PIPING INSTALLATION PLAN - UNIT B
SCALE: 1/8" = 1'-0"
NORTH

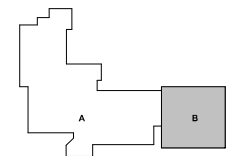
GENERAL NOTES

- REFER TO SHEET M3.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
- DUCT AND PIPING LAYOUTS ARE SCHEMATIC IN NATURE. PROVIDE ADDITIONAL TRANSITIONS, ELBOWS, OFFSETS AND FITTINGS AS REQUIRED.
- COORDINATE ANY STRUCTURAL SUPPORTS FOR OPENINGS WITH STRUCTURAL TRADES.
- COORDINATE WORK WITH OTHER TRADES TO PERMIT ACCESS AND SERVICE CLEARANCES TO ALL SYSTEMS. COORDINATE DUCT LOCATIONS WITH ELECTRICAL JUNKIES TO PREVENT OBSTRUCTIONS.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. REFER TO DIMENSIONED DRAWINGS.
- REFER TO DETAILS SHEET FOR ADDITIONAL INFORMATION ON INSTALLATION METHODS.
- DEVIATIONS FROM BASE-OF-DESIGN THAT AFFECT OTHER TRADES ARE THE RESPONSIBILITY OF THIS CONTRACTOR. ADDITIONAL COSTS TO PROVIDE LARGER ELECTRICAL CIRCUITS, MORE FLOOR SPACE, ADDITIONAL SUPPORTS, ADDITIONAL MATERIALS SHALL BE BORNE BY THE CONTRACTOR. COORDINATE ALL THE WORK WITH OTHER TRADES.

KEYNOTES

- | | |
|--------|--|
| 232113 | CONNECT HYDRONIC LINES TO FOU BOX AS PER DETAIL (M3.1 SHEET, TYPE OF ALL FOU BOXES) |
| 232114 | 3/4" HWS, HWR AND 1" CWS, CWR SERVING FAN COIL UNIT. |
| 232120 | PROVIDE NEW THERMOSTAT IN PLACE OF EXISTING THERMOSTAT BOX. VERIFY LOCATION ON SITE. |
| 232125 | 1" HWS, HWR AND 1-1/4" CWS, CWR SERVING FAN COIL UNIT. |
| 232137 | 3/4" CONDENSATE LINE SERVING FAN COIL UNIT. |
| 232147 | CONNECT THERMOSTAT TO RADIANT HEATING PANEL WITH SURFACE MOUNTED WIRE. |

KEYPLAN



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NOTES:

1. PROVIDE VFD AND DISCONNECT PER DIVISION 26 SPECIFICATIONS.
2. REFER TO DETAILS ON SHEET M5.1.
3. REFER TO CONTROLS ON SHEETS M2.1 AND M7.3.

1. PROVIDE FACE DAMPER OR REMOTE DAMPER ABOVE INACCESSIBLE CEILINGS
2. PROVIDE 45 DEG DEFLECTION, 3/4" BLADE SPACING

NOTES:

1. REFER TO DETAILS SHEET FOR BOILER CONNECTION DETAILS.
2. PROVIDE VENT AND COMBUSTION AIR OUTLET AS REQUIRED BY MANUFACTURER.
3. REFER TO CONTROL DRAWINGS FOR PROVIDING REQUIRED CONTROL WIRING TO SEQUENCE THE BOILERS.

NOTES:

1. MANUFACTURER PROVIDED SUPPLY AND RETURN FAN VFDs AND DISCONNECTS PER DIVISION 26 SPECIFICATIONS.
2. REFER TO DETAILS SHEET MS.1 FOR ADDITIONAL INFORMATION.
3. REFER TO SHEET M7.1 FOR CONTROLS.

1. AIR HANDLING UNIT TO HAVE 3-WAY VALVES ON BOTH CHILLED AND HOT WATER COILS

NOTES:

1. PROVIDE STARTER AND DISCONNECT PER DIVISION 26 SPECIFICATIONS.
2. PROVIDE DISCONNECT IN NEMA 3R RATED ENCLOSURE PER DIVISION 26 SPECIFICATIONS.
3. MANUFACTURER TO PROVIDE CHILLER SEQUENCING AS PART OF INTERNAL CONTROLS.
4. REFER TO DETAILS ON SHEET M5.2
5. REFER TO CONTROLS ON SHEET M7.3.

NOTES:

1. MANUFACTURER PROVIDED STARTER / DISCONNECT PER DIVISION 26 SPECIFICATIONS
2. MANUFACTURER PROVIDED SMOKE DETECTOR.
3. PROVIDE HOT AND CHILLED WATER 3-WAY VALVES.

NOTES:
1. COALESCING, STANDARD VELOCITY, REMOVABLE MEDIUM.
2. REFER TO DETAIL ON SHEET MS.2

1. PROVIDE LINE-VOLTAGE THERMOSTAT, SEE PLANS FOR LOCATION

NOTES:
1. TANK TO BE ASME RATED.
2. REFER TO DETAIL ON SHEET MS-2

NOTES:

1. PROVIDE STARTER/DISCONNECT PER DIVISION 26.
2. REFER TO DETAILS SHEET FOR ADDITIONAL INFORMATION

NOTES:

1. PROVIDE STARTER/DISCONNECT PER DIVISION 26.
2. PROVIDE CRANKCASE HEATER, LOW-AMBIENT KIT, WINTER START KIT, AND WIND BAFFLE TO ALLOW COOLING AT -10°F.
3. SIZE REFRIGERANT PIPING PER MANUFACTURER RECOMMENDATION.
4. REFER TO DETAILS SHEET FOR ADDITIONAL INFORMATION.

VAV SHUT-OFF BOX SCHEDULE													
TAG		MANUFACTURER	MODEL	INLET DIA (IN)	AIRFLOW (CFM)			MAX AIR PRESSURE DROP (IN WG)	COIL CAPACITY (MBH)		AIR TEMPERATURE (°F)		WATER PRESSURE DROP (FT WG)
					MAX PRIMARY	MIN PRIMARY	MAX HEATING		COIL PRIMARY	COIL SECONDARY	ENTERING	LEAVING	
WAV-1	1	TRANE	VC08F	12	1500	600	600	0.28	10.8	55	71.8	6.9	1
WAV-2	2	TRANE	VC08F	12	1500	600	600	0.28	10.8	55	71.8	6.9	1
WAV-3	3	TRANE	VC08F	6	400	175	175	0.41	8.57	55	100.16	6.46	0.69

NOTES:
1. PROVIDE STARTER / DISCONNECT AS PER DIVISION 26 SPECIFICATIONS.
2. REFER TO DETAILS SHEET M6.1 FOR ADDITIONAL INFORMATION.
3. PROVIDE 5-WAY VALVE.

FAN COIL UNIT SCHEDULE																																		
TAG	COOLING COIL											HEATING COIL											ELECTRICAL DATA											
	MANUFACTURER	MODEL	CFM	OUTSIDE AIR (CFM)	FILTER	ESP (IN OF WATER)	TSP (IN OF WATER)	TOTAL CAPACITY (MBH)	SENSIBLE	ENTERING AIR TEMP (°F)	LEAVING AIR TEMP (°F)	ROW QUANTITY	WATER TEMPERATURE (°F)	ENTERING	LEAVING	WATER FLOW (GPM)	MAX WATER PRESSURE DROP (FT WG)	CAPACITY (MBH)	ENTERING	LEAVING	ROW QUANTITY	WATER TEMPERATURE (°F)	ENTERING	LEAVING	WATER (GPM)	MAX WATER PRESSURE DROP (FT WG)	HP	VOLTAGE	PHASE	FREQUENCY (HZ)	MCA	MOCP	NOTES	
FCEU-1	TRANE	BCHD004	1050		P-Placed MERV 8	0.25	1.06	18.35	34.2	75.7	65.9	66.9	56.3	4	45	55	8.66	2.74	63.7	68.7	134	2	140	118.58	5.46	0.8	1	115	1	60	16.83	25	12.34.6	
FCEU-2	TRANE	BCHD004	1050	610	P-Placed MERV 8	0.25	0.97	18.92	31.05	75.5	66	67.0	56.76	4	45	55	10.29	3.46	67.2	69.2	134	2	140	116.60	4.87	0.43	1	115	1	60	16.20	15	12.34.6	
FCEU-3	TRANE	BCHD007	2150	180	P-Placed MERV 8	0.25	1.01	19.81	46.7	76.4	66.1	67.0	56.36	4	45	55	11.28	4.56	66.4	68.4	165.66	1	140	120	4.62	1.36	1	115	1	60	16.83	25	12.34.6	
FCEU-4	TRANE	BCHD004	1540	350	P-Placed MERV 8	0.25	0.85	18.37	31.75	75.1	65.7	66.8	55.1	4	45	55	7.86	1.91	61.36	66.36	134	1	140	120	5.14	0.16	0.5	115	1	60	16.83	15	12.34.6	
FCEU-5	TRANE	BCHD004	1550	140	P-Placed MERV 8	0.25	0.46	18.94	28.45	75.0	65.6	66.7	55.4	4	45	55	2.45	0.61	61.46	66.46	134	1	140	120	2.45	0.16	0.5	115	1	60	16.83	15	12.34.6	
FCEU-6	TRANE	IC00004	770	140	P-Placed MERV 8	0.25	1.201	18.19	19.65	75	65	66.82	55.68	6	45	55	0.61	0.09	61.59	66.59	134	2	140	118.16	2.88	1.12	0.5	115	1	60	16.20	15	12.34.6	
FCEU-7	TRANE	IC00004	900	90	P-Placed MERV 8	0.25	0.714	18.53	22.33	75.1	65.4	66.59	55.99	4	45	55	0.61	0.09	61.59	66.59	134	1	140	120	1.66	0.16	0.5	115	1	60	16.20	15	12.34.6	
FCEU-8	TRANE	BCHD008	1400	90	P-Placed MERV 8	0.25	1.063	18.73	32.50	75.9	65.8	66.73	55.84	4	45	55	2.72	0.71	61.61	66.61	134	1	140	120	3.17	0.14	1	115	1	60	16.83	25	12.34.6	
FCEU-9	TRANE	BCHD008	1400	90	P-Placed MERV 8	0.25	0.96	18.96	29.97	75.9	65.8	66.73	55.84	4	45	55	2.72	0.71	61.61	66.61	134	1	140	120	3.17	0.14	1	115	1	60	16.83	25	12.34.6	
FCEU-10	TRANE	BCHD004	1050	150	P-Placed MERV 8	0.25	0.89	18.31	33.86	75.1	65.8	66.57	55.1	4	45	55	2.78	0.87	61.1	66.5	134	2	140	116.58	6.89	0.43	0.5	115	1	60	16.20	15	12.34.6	
FCEU-11	TRANE	BCHD004	1600	310	P-Placed MERV 8	0.25	0.9	18.1	35.74	75.4	64.5	65.1	55.65	4	45	55	0.89	2.23	65.1	67.51	1	1	140	120	3.2	0.17	0.5	115	1	60	16.20	15	12.34.6	
FCEU-12	TRANE	BCHD004	1900	430	P-Placed MERV 8	0.25	1.27	18.88	39.72	75.9	65.5	67.4	56.9	1	45	55	10.84	3.39	70.77	68.7	134	1	140	121.06	9.34	0.08	1	115	1	60	16.83	25	12.34.6	
FCEU-13	TRANE	BCHD004	1600	120	P-Placed MERV 8	0.25	1.18	18.8	40.24	76.2	65.5	66.57	55.43	4	45	55	8.13	2.49	70.88	68.8	103.3	2	140	120	7.1	0.86	1	115	1	60	16.83	25	12.34.6	
FCEU-14	TRANE	BCHD004	720	120	P-Placed MERV 8	0.25	1.05	17.64	14.1	75.4	65.7	67.68	57.23	4	45	55	4.31	2.52	67.6	69.7	134	2	140	119.73	3.37	1.37	0.5	115	1	60	16.20	15	12.34.6	
FCEU-15	TRANE	BCHD004	750	90	P-Placed MERV 8	0.25	1.04	18.65	15.36	75.9	65.2	67.32	56.73	4	45	55	2.52	2.72	68.55	68.5	134	2	140	117.56	2.55	1.57	0.5	115	1	60	16.20	15	12.34.6	
FCEU-16	TRANE	BCHD004	1050	120	P-Placed MERV 8	0.25	1.27	18.88	39.72	75.9	65.5	67.4	56.9	4	45	55	10.84	3.39	70.77	68.7	134	2	140	121.06	9.34	0.08	1	115	1	60	16.83	25	12.34.6	
FCEU-17	TRANE	BCHD004	1050	130	P-Placed MERV 8	0.25	1.03	18.32	34.68	75.9	65.3	66.66	56.22	4	45	55	9.21	2.83	63.55	68.5	134	2	140	118.43	3.89	0.81	1	115	1	60	16.83	25	12.34.6	
FCEU-18	TRANE	BCHD003	880	90	P-Placed MERV 8	0.25	0.66	18.6	21.35	75.3	65.7	65.46	55.03	4	45	55	5.3	4.86	64.8	69	50.9	1	140	120	2.48	0.26	0.5	115	1	60	16.20	15	12.34.6	
FCEU-19	TRANE	BCHD003	1340	100	P-Placed MERV 8	0.25	1.27	18.34	28.19	75.8	65.7	66.64	56.44	4	45	55	8.64	10.14	68.5	69.5	134	2	140	118.32	4.26	0.68	1	115	1	60	16.83	25	12.34.6	
FCEU-20	TRANE	BCHD012	350	50	P-Placed MERV 8	0.25	0.73	7.56	6.69	75	66.3	66.81	56.44	4	45	55	1.5	0.76	61.76	66.8	134	2	140	111.19	0.18	0.87	0.5	115	1	60	16.20	15	12.34.6	
FCEU-21	TRANE	BCHD004	1200	90	P-Placed MERV 8	0.25	1.11	18.89	28.66	75.5	65.7	66.61	56.47	4	45	55	4.96	10.14	68.5	69.5	134	2	140	118.32	3.89	0.17	0.5	115	1	60	16.83	25	12.34.6	
FCEU-22	TRANE	BCHD004	1050	50	P-Placed MERV 8	0.25	0.58	17.81	28.27	75.9	64.7	65.36	54.73	4	40	50	2.5	8.68	65.1	65.1	81.31	1	140	120	1.02	0.36	0.5	115	1	60	16.20	15	12.34.6	
FCEU-23	TRANE	BCHD004	1050	50	P-Placed MERV 8	0.25	0.58	17.81	28.27	75.9	64.7	65.36	54.73	4	40	50	2.5	8.68	65.1	65.1	81.31	1	140	120	1.02	0.36	0.5	115	1	60	16.20	15	12.34.6	
FCEU-24	TRANE	BCHD004	1050	50	P-Placed MERV 8	0.25	0.58	17.81	28.27	75.9	64.7	65.36	54.73	4	40	50	2.5	8.68	65.1	65.1	81.31	1	140	120	1.02	0.36	0.5	115	1	60	16.20	15	12.34.6	
FCEU-25	TRANE	BCHD012	350	70	P-Placed MERV 8	0.25	1.03	12.85	8.46	75.9	65.4	65.83	55.33	4	45	55	2.52	1.46	63.4	65.4	1	1	140	127.84	1.24	1.4	0.5	115	1	60	16.20	15	12.34.6	

NOTES:
1. MANUFACTURER PROVIDED STARTER / DISCONNECT PER DIVISION 26 SPECIFICATIONS.
2. REFER TO DETAILS ON SHEET M6.1.
3. REFER TO CONTROLS ON SHEET M6.3.
4. PROVIDE CONDENSATE PUMP.
5. PROVIDE SMOKE DETECTOR.
6. PROVIDE HOT WATER AND CHILLED WATER 5-WAY CONTROL VALVES.

WATER TREATMENT EQUIPMENT SCHEDULE						
TAG		SYSTEM SERVED	BASIS OF DESIGN	VOLTAGE	PHASE	NOTES
WTS	3	CHILLED WATER	EAST WATER GL-1000	100	3	1
WTS	4	HOT WATER	EAST WATER GL-1000	120	3	1

NOTES:
1. INSTALL WIRE WRAP AS PER MANUFACTURER'S SPECIFICATIONS.

HYDRONIC UNIT HEATER SCHEDULE						
TAG	MANUFACTURER	MODEL	HEATING CAPACITY (MBH)	VOLT/PH	HP	NOTES
HUH-1	TRANE	UNGB081RAT03A20A	10.87	115V	1/8	1

NOTES:
1. PROVIDE STARTER DISCONNECT AS PER DIVISION 26 SPECIFICATIONS.



POWER & SYSTEMS REMOVAL PLAN

02620 EXISTING PAN COLLECTOR TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02627 EXISTING CANNOT UNIT HEATER TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02628 EXISTING UNIT VENTILATOR TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02629 EXISTING PLANE FAN TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, ETC. REMAIN.
EXISTING CABLEING, CONDUITS, DISCONNECTS, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02630 EXISTING GROUNDING ROD TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02631 EXISTING CHILLER TO BE REMOVED COMPLETE. DISCONNECT
ELECTRICAL DISCONNECT, STARTERS, BOXES, SUPPORTS, ETC.
COMPLETE BACK TO SOURCE.

02632 EXISTING SURFACE MOUNTED DUCTED RECEPTACLE TO BE
REMOVED COMPLETE. RECEPTACLE TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02634 ALL EXISTING DEVICES (RECEPTACLES, ETC.) IN ROOM TO BE
REMOVED COMPLETE. RECEPTACLES TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICES.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02635 EXISTING SURFACE MOUNTED SPECIAL PURPOSE OUTLET TO BE
REMOVED COMPLETE. OUTLET TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02637 EXISTING WALL CLOSBOR TO BE REMOVED COMPLETE BACK
TO SOURCE. EXISTING ELECTRICAL DISCONNECT, STARTERS,
BOXES, SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02638 EXISTING SURFACE MOUNTED SPECIAL PURPOSE OUTLET TO BE
REMOVED COMPLETE. OUTLET TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02639 EXISTING GROUNDING ROD TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02640 EXISTING FIBERGLASS MOUNTED GROUND CLAMP RECEPTACLE TO
BE REMOVED COMPLETE. RECEPTACLE TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02641 EXISTING SURFACE MOUNTED OCTAGONAL RECEPTACLE TO BE
REMOVED COMPLETE. RECEPTACLE TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02642 EXISTING DISHWASH STATION TO BE REMOVED COMPLETE BACK
TO SOURCE. EXISTING ELECTRICAL DISCONNECT, STARTERS,
BOXES, SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02643 EXISTING HATCH DOOR TO BE REMOVED COMPLETE BACK TO
SOURCE. EXISTING ELECTRICAL DISCONNECT, STARTERS,
BOXES, SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02644 EXISTING HATCH DOOR EXHAUST FAN MOTOR CONTROL
TO BE REMOVED COMPLETE. EXHAUST FAN MOTOR
CONTROL TO BE REMOVED. EXHAUST FAN MOTOR
COMPLETE BACK TO SOURCE.

02645 EXISTING SURFACE MOUNT RECEPTACLE TO BE
REMOVED COMPLETE. RECEPTACLE TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02646 EXISTING SURFACE MOUNTED DUCTED RECEPTACLE TO BE
REMOVED COMPLETE. RECEPTACLE TO BE REMOVED
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02647 EXISTING SURFACE MOUNTED SINGLE OUTLET TO BE REMOVED
COMPLETE. OUTLET TO BE REMOVED. OUTLET
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02648 EXISTING SURFACE MOUNTED RACEWAY AND DUXFER
TO BE REMOVED COMPLETE. RACEWAY AND DUXFER
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW AREA DEVICES.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02649 EXISTING SURFACE MOUNTED SINGLE OUTLET TO BE
REMOVED COMPLETE. OUTLET TO BE REMOVED COMPLETE.
OUTLET CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW DEVICE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02651 EXISTING SURFACE MOUNTED POWER CORD FITS BACK TO
SOURCE, DISCONNECT AND REMOVE ALL ASSOCIATED
ELECTRICAL DISCONNECT, STARTERS, BOXES, SUPPORTS,
ETC. COMPLETE BACK TO SOURCE.

02652 EXISTING SURFACE RECEPTACLE TO BE REMOVED COMPLETE.
RECEPTACLE TO BE REMOVED. RECEPTACLE
CIRCUITRY TO REMAIN FOR RECONNECTION TO NEW AREA DEVICES.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. COMPLETE BACK TO SOURCE.

02663 EXISTING PUMP UNIT HEATER TO BE REMOVED COMPLETE.
EXISTING ELECTRICAL DISCONNECT, STARTERS, BOXES,
SUPPORTS, ETC. REMAIN. EXISTING CABLEING, CONDUITS,
DISCONNECTS, STARTERS, BOXES, SUPPORTS, ETC. COMPLETE
BACK TO SOURCE.

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W WASHINGTON STREET

MONEFORT STREET

A. REFER TO SHEETS G1.1 AND E0.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.

265600 TOP OF CONCRETE BASE FOR LIGHT POLE SHALL BE 0'-6" AFG.
LIGHT POLE SHALL BE 30'-0" H. FOR LIGHTING POLE
FOUNDATION DETAIL, REFER TO SHEET E5.1, DETAIL #4.
PROVIDE 3'-0" SPACING BETWEEN EDGE OF PAVED PARKING
LOT AND EDGE OF CONCRETE POLE FOUNDATION.

285601 TOP OF CONCRETE BASE FOR LIGHT POLE SHALL BE 0'-6" AFG.
LIGHT POLE SHALL BE 25'-0" H. FOR LIGHTING POLE
FOUNDATION DETAIL, REFER TO SHEET ES.1, DETAIL #4.
PROVIDE 3'-0" SPACING BETWEEN EDGE OF PAVED PARKING
LOT AND EDGE OF CONCRETE POLE FOUNDATION.

269602 FURNISH AND INSTALL CONDUIT SLEEVE 5'-0" BEYOND THE LIGHTING POLE FOUNDATION FOR FUTURE USE. CAP CONDUIT END AND FLAG; RECORD LOCATION ON ELECTRICAL RECORD DRAWINGS. FURNISH WITH PULLSTRING IN CONDUIT SLEEVE.

265603 EQUIPMENT TO BE MOUNTED ON CONCRETE PAD, REFER TO STRUCTURAL DRAWING S1.9 FOR PAD INFORMATION.

255604 EXISTING AREA LIGHT TO REMAIN. PROTECT DURING CONSTRUCTION.

285605 FIXTURE TO BE CONTROLLED ON/OFF VIA TIMECLOCK AND
PHOTOCELL. REFER TO DETAIL #2 ON SHEET E3.2. CONTROL
VIA CONTACTOR LCA.

255907 PROVIDE (1) 2" C/FOR COMMUNICATIONS AND (1) 1" C/FOR POWER STUBBED INTO MIDDLE OF ISLAND FOR FUTURE NIGHT DEPOSIT BOX. STUB UP CONDUITS FLUSH WITH GRADE, CAP BOTH ENDS AND PROVIDE PULL STRINGS IN CONDUITS AND MARK TAPE OVER CONDUITS, FLAG LOCATIONS AND RECORD ON RECORD DRAWINGS. STUB UP CONDUITS +6" AFF IN TRANSACTION #B112 BELOW COUNTER (ADJACENT TO DRIVE UP W/DOOR).

270520 (1) 4°C. FROM EXISTING UTILITY POLE STUBBED INTO TUNNEL. BELOW BREAK RA105 FOR FIBER OPTIC FEED, FURNISH AND INSTALL WITH MARKER TAPE. STUB UP ABOVE GRADE AT UTILITY POLE.

270521 NEW FIBER SERVICE TO BE ROUTED UP CHASE TO ABOVE ACCESSIBLE CEILING. ROUTE ABOVE ACCESSIBLE CEILING TO IT 88155



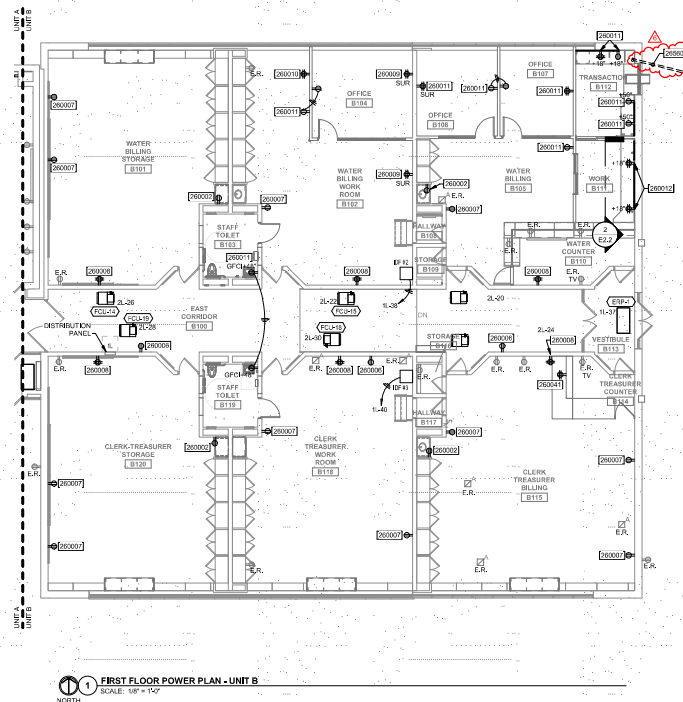
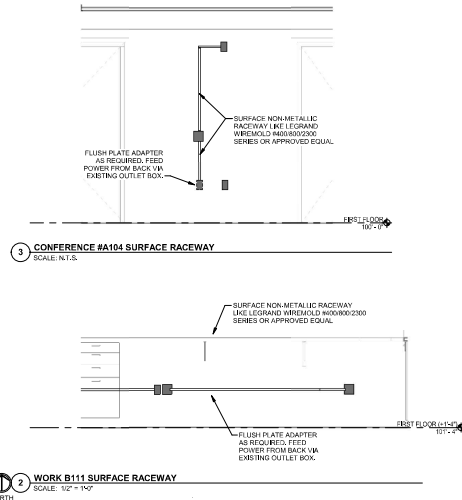
GREENSBURG CITY HALL
RENOVATION OF THE
314 WEST WASHINGTON STREET
GREENSBURG, INDIANA 47240
PARTIAL SITE PLAN - ELECTRICAL

DRAWING NO.

E1.0

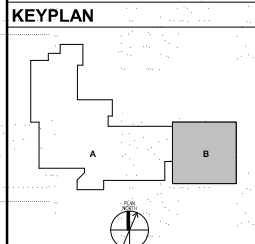
ELECTRICAL





- GENERAL NOTES:**
- REFER TO SHEETS 01.2, 01.7 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
 - MINIMIZE ROOF PENETRATIONS. ROOF SEALANTS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION (FIELD COORDINATE).
 - FOR PANELBOARD SCHEDULES, SEE DRAWINGS 07.2, 07.3 AND 07.4.
 - SEE MECHANICAL EQUIPMENT - ELECTRICAL CONNECTION SCHEDULE ON DRAWING 06.2 FOR EQUIPMENT CIRCUITING AND ADDITIONAL ELECTRICAL REQUIREMENTS FOR MECHANICAL EQUIPMENT (E.D. DISCONNECT, STARTER, ETC.) AND LOAD INFORMATION.
 - ALL EXISTING SURFACE MOUNTED RACEWAY WITH DEVICES TO REMAIN ON WALLS RECEIVING NEW FINISHES SHALL BE PAINTED TO MATCH NEW FINISH.
 - NEW WIRING DEVICES ON EXISTING WALL TO BE SURFACE MOUNTED UNLESS OTHERWISE NOTED. RACEWAY AND RACEWAY ACCESSORIES SHALL BE LOW PROFILE, NON-METALLIC RACEWAY SURFACE FOR FINISHED OFFICE AREAS (E.G. LEGRAND WIREMOLD #6070X100-2300) SERIES OR APPROVED EQUAL FROM HUBBELL OR PASADENA. ALL RACEWAYS SHALL BE FED FROM ABOVE, UNLESS OTHERWISE NOTED. INSTALL IN A NEAT AND WORKMANLIKE MANNER TO MINIMIZE BENDS, ELBOWS, ETC. PAINT RACEWAYS TO MATCH WALL FINISH COLOR.
 - CONTRACTOR AND ARCHITECT SHALL A PRE-INSTALLATION CONFERENCE TO REVIEW ROUTING OF ALL NEW SURFACE RACEWAYS IN BUILDING. DO NOT PROCEED WITH INSTALLATION WITHOUT WRITTEN ARCHITECT APPROVAL.
 - FOR REMOVED WIRING DEVICES, ETC. PROVIDE BLANK FACEPLATE TO COVER OPENING. FACEPLATE SHALL BE PAINTED TO MATCH ADJACENT WALL FINISH COLOR.

- KEYNOTES**
- 260002 FURNISH AND INSTALL ONE (2) 20A, GFCI 120V DUPLEX RECEPTACLE IN EXISTING BOX. PROVIDE NEW COVER PLATE. CONNECT TO EXISTING CIRCUIT. MODIFY AND EXTEND AS NEEDED.
- 260006 FURNISH AND INSTALL ONE (2) 20A, 120V DUPLEX RECEPTACLE IN EXISTING SURFACE MOUNTED BOX. FURNISH WITH NEW COVER PLATE. CONNECT TO EXISTING CIRCUITRY AS NEEDED.
- 260007 FURNISH AND INSTALL ONE (2) 20A, 120V DUPLEX RECEPTACLE IN EXISTING RECESSED MOUNTED BOX. FURNISH WITH NEW COVER PLATE. CONNECT TO EXISTING CIRCUITRY AS NEEDED.
- 260008 FURNISH AND INSTALL ONE (2) 20A, 120V QUAD RECEPTACLE IN EXISTING RECESSED MOUNTED BOX. FURNISH WITH NEW COVER PLATE. CONNECT TO EXISTING CIRCUITRY AS NEEDED.
- 260009 FURNISH AND INSTALL NEW QUAD RECEPTACLE IN SURFACE MOUNTED BOX OVER EXISTING DUPLEX RECEPTACLE BACK BOX. CONNECT TO EXISTING REMOVED RECEPTACLE CIRCUIT AS NEEDED.
- 260010 CONNECT NEW DEVICES TO SAME CIRCUIT AS EXISTING REMOVED SURFACE MOUNTED QUAD RECEPTACLE. REFER TO KEYNOTE #260011 ON DRAWING 02.2.
- 260011 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED POWER POLE. MODIFY AND EXTEND CIRCUIT AS NEEDED TO NEW DEVICE. REFERENCE KEYNOTE #260010 ON SHEET 02.2.
- 260012 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED RECEPTACLE. MODIFY AND EXTEND CIRCUITRY AS NEEDED VIA SURFACE RACEWAY.
- 260041 CONNECT TO SAME CIRCUIT AS EXISTING REMOVED ROOM AREA RECEPTACLE. MODIFY AND EXTEND AS NEEDED.
- 260067 PROVIDE 1/2"X2" FOR COMMUNICATIONS AND 1/4"X2" FOR POWER STUBS INTO INSIDE OF PLUMB FOR FUTURE. MOUNT DEPOSIT BOX. STUB UP CONDUITS FLUSH WITH GRADE. CAP BOTH ENDS AND PROVIDE FULL STRING IN CONDUITS AND MARK TAPE OVER CONDUITS. FLAG LOCATIONS AND RECORD ON RECORD DRAWINGS. STUB UP CONDUITS 4' APART. TRANSACTION #B112 BELOW COUNTER (ADJACENT TO DRIVE UP WINDOWS).



DATE	REVISION	BY	CHKD	DATE
03/02/2021	01	01	01	03/02/2021
03/02/2021	02	01	01	03/02/2021
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03/02/2021	98	01	01	03/02/2021
03/02/2021	99	01	01	03/02/2021
03/02/2021	100	01	01	03/02/2021



1 FIRST FLOOR LIGHTING PLAN - UNIT A
SCALE: 1/8" = 1'-0"

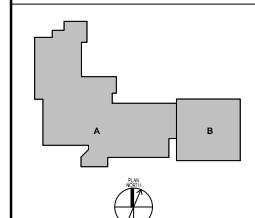
GENERAL NOTES:

- REFER TO DRAWINGS 01.2, 01.3 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
- FOR LIGHTING FIXTURE SCHEDULE, SEE DRAWING EEL. REFER TO REMARKS COLUMN ON SCHEDULE FOR FIXTURE, MOUNTING HEIGHTS AND REQUIREMENTS U.O.A. ON THIS DRAWING.
- FOR OCCUPANCY SENSOR WIRING DIAGRAM DETAIL, SEE DETAIL #1 ON DRAWING EEL.
- FIELD COORDINATE, PRIOR TO CONSTRUCTION, EXACT MOUNTING HEIGHT OF ALL FIXTURES TO AVOID MECHANICAL DUCTWORK AND EQUIPMENT.
- FOR EXTERIOR LIGHTING WIRING DIAGRAM, SEE DETAIL #2 ON DRAWING EEL.
- CEILING MOUNTED OCCUPANCY SENSORS SHALL BE MOUNTED IN CENTER OF CEILING TIE L.O.U.N. COORDINATE EXACT LOCATIONS BEFORE ROUGHINS MAKE ADJUSTMENTS AS NEEDED TO MAINTAIN SPACING FROM HVAC GRILLES/OFFUSERS PER MANUFACTURER'S RECOMMENDATION.
- OCCUPANCY SENSORS ARE SHOWN FOR PURPOSES OF IDENTIFYING ROOMS/AREAS WHERE REQUIRED, COORDINATE WITH MANUFACTURER ON QUANTITY AND LOCATION REQUIRED FOR COMPLETE COVERAGE.
- PROVIDE POWER PACKS AS REQUIRED FOR OCCUPANCY SENSORS, POWER PACKS ARE NOT SHOWN, FIELD COORDINATE LOCATIONS AND RECORD ON ELECTRICAL RECORD DRAWINGS.
- CONNECT ALL NEW EXT. BIDS TO SAME CIRCUIT AS EXISTING REMOVED EXT. BIDS, MODIFY AND EXTEND CIRCUITRY AS NEEDED.

KEYNOTES

- 260001 FURNISH AND INSTALL NEW COVER PLATE OVER EXISTING DUPLEX RECEPTACLE.
- 260002 FURNISH AND INSTALL BLANK COVER PLATE OVER REMOVED EXISTING LIGHTING CONTROL, TOGGLE SWITCH/BACKBOX, PART COVERS PLATE TO MATCH WALL FINISH.
- 260003 FURNISH AND INSTALL BLANK COVER PLATE OVER REMOVED EXISTING WALL SWITCH/SECONDARY LIGHT BACKBOX, PART COVERS PLATE TO MATCH WALL FINISH.
- 260004 FURNISH AND INSTALL NEW DIMMER, SLIDER WITH POSITIVE OFF, FOR 120V LED DRIVERS, DIMMER SHALL BE PROVIDED PER LIGHT FIXTURE MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED FIXTURES, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, DEVICE TO MATCH EXISTING BACKBOX, CONNECT NEW DIMMER TO EXISTING LIGHTING CIRCUIT, MODIFY AND EXTEND AS NEEDED.
- 260005 CONNECT NEW OCCUPANCY SENSOR TO EXISTING ROOM LIGHTING CIRCUIT, MODIFY AND EXTEND AS NEEDED.
- 260006 MOUNT NEW FIXTURE IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, CONNECT TO SAME CIRCUIT AS EXISTING, MODIFY AND EXTEND AS NEEDED.
- 260007 FURNISH AND INSTALL NEW DIMMER, SLIDER WITH POSITIVE OFF, FOR 120V LED DRIVERS, DIMMER SHALL BE PROVIDED PER LIGHT FIXTURE MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED FIXTURES, CUT AND PATCH, REPAIR AND PAINT WALL AS REQUIRED TO MATCH ADJACENT FINISHES, CONNECT NEW DIMMER TO EXISTING LIGHTING CIRCUIT, MODIFY AND EXTEND AS NEEDED.
- 260008 FURNISH AND INSTALL NEW 20A, TOGGLE SWITCH IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, CONNECT TO SAME CIRCUIT AS EXISTING, REMOVE LIGHT FIXTURE, SHOCK BOX, DIMMER SHALL BE PROVIDED PER LIGHT FIXTURE MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED FIXTURES, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, DEVICE TO MATCH EXISTING BACKBOX, CONNECT NEW DIMMER TO EXISTING LIGHTING CIRCUIT, MODIFY AND EXTEND AS NEEDED.
- 260009 DUAL OUTPUT OCCUPANCY SENSOR, PROVIDE POWER PACKS AS RECOMMENDED.
- 260010 FURNISH AND INSTALL NEW SURFACE MOUNTED 20A, TOGGLE SWITCH IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, CONNECT TO SAME CIRCUIT AS EXISTING, REMOVE LIGHT FIXTURE, SHOCK BOX, DIMMER SHALL BE PROVIDED PER LIGHT FIXTURE MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED FIXTURES, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, DEVICE TO MATCH EXISTING BACKBOX, CONNECT NEW DIMMER TO EXISTING LIGHTING CIRCUIT, MODIFY AND EXTEND AS NEEDED.
- 260011 FURNISH AND INSTALL NEW 20A, TOGGLE SWITCH IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, CONNECT TO SAME CIRCUIT AS EXISTING, REMOVE LIGHT FIXTURE, SHOCK BOX, DIMMER SHALL BE PROVIDED PER LIGHT FIXTURE MANUFACTURER'S RECOMMENDATION FOR PROPER DIMMING OF LED FIXTURES, DIMMER TO BE LOCATED IN SAME LOCATION AS EXISTING REMOVED LIGHTING CONTROL, TOGGLE SWITCH, DEVICE TO MATCH EXISTING BACKBOX, CONNECT NEW DIMMER TO EXISTING LIGHTING CIRCUIT, MODIFY AND EXTEND AS NEEDED.
- 260012 RE-LOCATED TIME CLOCK, REFER TO KEYNOTE 260002 ON DRAWING EEL FOR MORE INFORMATION, MODIFY AND EXTEND EXISTING WIRING/CIRCUITRY AS NEEDED, SEE KEYNOTE 260007 THIS SHEET FOR MORE INFORMATION.
- 260013 FURNISH AND INSTALL NEW FACE PLATE OVER EXISTING BOX, EXISTING EXCEEDED THE LIGHT FIXTURES TO REMAIN, CLEAN LENS AND REPAIR FIXTURES WITH BREAK LEAD WIRING, PROVIDE (2) LAMP FIXTURES.
- 260014 FIXTURES IN ROOM TO BE PERMANENTLY MOUNTED WITH HODIUM AT 10'6" AFF.
- 260015 NEW TIME CLOCK (TCC) FOR CONTROL OF EXTERIOR LIGHTING, REFER TO EXTERIOR LIGHTING WIRING DIAGRAM, SHEET EEL, OF 01.2, 01.3, CONNECT TO CIRCUIT 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 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KEYPLAN





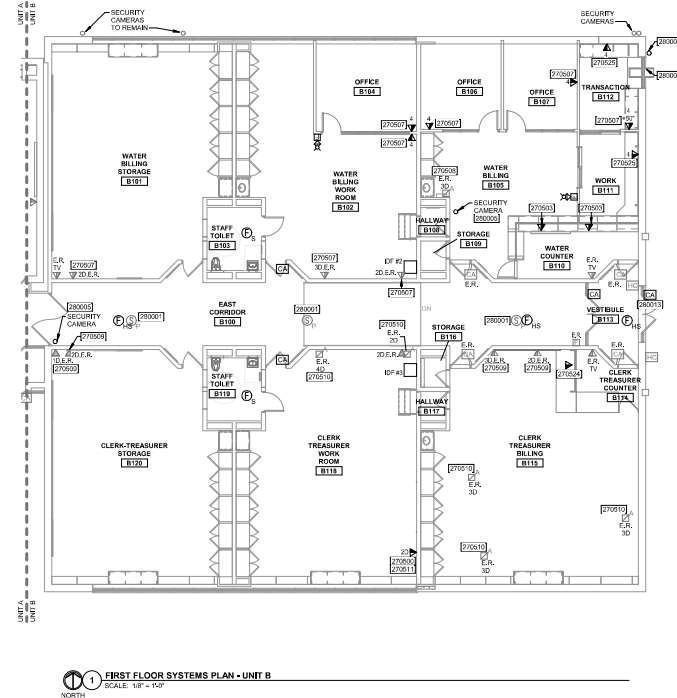
NORTH

- A. REFER TO SHEETS G1.1, G1.2 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
- B. ALL EXISTING SURFACE MOUNTED RACEWAY WITH DEVICES REMAIN ON WALLS RECEIVING NEW FINISHES SHALL BE PAINTED TO MATCH NEW FINISH.
- C. NEW WIRING DEVICES ON EXISTING WALL TO BE SURFACE MOUNTED UNLESS OTHERWISE NOTED. RACEWAY AND RACEWAY ACCESSORIES SHALL BE LOW PROFILE, NON-METALLIC RACEWAY OR RING BUSHING OR RING BUSHING WITH RING BUSHING, 2000 SERIES OR APPROVED EQUAL FROM HUBBELL OR PANDUIT. ALL RACEWAYS SHALL BE FED FROM ABOVE UNLESS OTHERWISE NOTED. WALL RACEWAY SHALL BE INSTALLED IN MANNER TO MINIMIZE BENDS, ELBOWS, ETC. PAINT RACEWAYS TO MATCH WALL FINISH COLOR.
- D. FURNISH AND INSTALL SPECIFICATION GRADE, POWER OVER ETHERNET (WIRELESS ACCESS POINT / WAP) ROUTERS AS NEEDED TO PROVIDE COVERAGE OF BUILDING. QUANTITY, LOCATION AND LOCATION TO BE DETERMINED BY VENDOR USING PREDICTIVE ANALYSIS SOFTWARE.

[illegible]

270000 280000

CONTACT TO SUSTAINING MEMBERS



MECHANICAL EQUIPMENT - ELECTRICAL CONNECTION SCHEDULE														
DESCRIPTION	ELECTRICAL DATA				CIRCUIT (7) DESIGNATION	O.C.P. AMPS POLE	CONDUCTORS	CONDUIT	DISCONNECT BY	STARTER BY	DRAWING LOCATION	REMARK / DISC OR STARTER TYPE		
	VOLTS	KW	FLA	HP										
AIR HANDLING UNIT "AHU-1"	208	3	--	22.5	--	MDP32.34.36)	50	3	3#6 1#8 GND.	1" C.	M.C.	M.C.	MEZZANINE, SHEET E2.1	-3
AIR COOLED CHILLER "CH-1"	208	3	--	397	--	MDP35.37.39)	450	3	2 SETS 3#4#6#8#10#12#14#16#18#20#22#24#26#28#30#32#34#36#38#40#42#44#46#48#50#52#54#56#58#60#62#64#66#68#70#72#74#76#78#80#82#84#86#88#90#92#94#96#98#100#102#104#106#108#110#112#114#116#118#120#122#124#126#128#130#132#134#136#138#140#142#144#146#148#150#152#154#156#158#160#162#164#166#168#170#172#174#176#178#180#182#184#186#188#190#192#194#196#198#200#202#204#206#208#210#212#214#216#218#220#222#224#226#228#230#232#234#236#238#240#242#244#246#248#250#252#254#256#258#260#262#264#266#268#270#272#274#276#278#280#282#284#286#288#290#292#294#296#298#300#302#304#306#308#310#312#314#316#318#320#322#324#326#328#330#332#334#336#338#340#342#344#346#348#350#352#354#356#358#360#362#364#366#368#370#372#374#376#378#380#382#384#386#388#390#392#394#396#398#400#402#404#406#408#410#412#414#416#418#420#422#424#426#428#430#432#434#436#438#440#442#444#446#448#450#452#454#456#458#460#462#464#466#468#470#472#474#476#478#480#482#484#486#488#490#492#494#496#498#500#502#504#506#508#510#512#514#516#518#520#522#524#526#528#530#532#534#536#538#540#542#544#546#548#550#552#554#556#558#560#562#564#566#568#570#572#574#576#578#580#582#584#586#588#590#592#594#596#598#600#602#604#606#608#610#612#614#616#618#620#622#624#626#628#630#632#634#636#638#640#642#644#646#648#650#652#654#656#658#660#662#664#666#668#670#672#674#676#678#680#682#684#686#688#690#692#694#696#698#700#702#704#706#708#710#712#714#716#718#720#722#724#726#728#730#732#734#736#738#740#742#744#746#748#750#752#754#756#758#760#762#764#766#768#770#772#774#776#778#780#782#784#786#788#790#792#794#796#798#800#802#804#806#808#810#812#814#816#818#820#822#824#826#828#830#832#834#836#838#840#842#844#846#848#850#852#854#856#858#860#862#864#866#868#870#872#874#876#878#880#882#884#886#888#890#892#894#896#898#900#902#904#906#908#910#912#914#916#918#920#922#924#926#928#930#932#934#936#938#940#942#944#946#948#950#952#954#956#958#960#962#964#966#968#970#972#974#976#978#980#982#984#986#988#990#992#994#996#998#1000#1002#1004#1006#1008#1010#1012#1014#1016#1018#1020#1022#1024#1026#1028#1030#1032#1034#1036#1038#1040#1042#1044#1046#1048#1050#1052#1054#1056#1058#1060#1062#1064#1066#1068#1070#1072#1074#1076#1078#1080#1082#1084#1086#1088#1090#1092#1094#1096#1098#1100#1102#1104#1106#1108#1110#1112#1114#1116#1118#1120#1122#1124#1126#1128#1130#1132#1134#1136#1138#1140#1142#1144#1146#1148#1150#1152#1154#1156#1158#1160#1162#1164#1166#1168#1170#1172#1174#1176#1178#1180#1182#1184#1186#1188#1190#1192#1194#1196#1198#1200#1202#1204#1206#1208#1210#1212#1214#1216#1218#1220#1222#1224#1226#1228#1230#1232#1234#1236#1238#1240#1242#1244#1246#1248#1250#1252#1254#1256#1258#1260#1262#1264#1266#1268#1270#1272#1274#1276#1278#1280#1282#1284#1286#1288#1290#1292#1294#1296#1298#1300#1302#1304#1306#1308#1310#1312#1314#1316#1318#1320#1322#1324#1326#1328#1330#1332#1334#1336#1338#1340#1342#1344#1346#1348#1350#1352#1354#1356#1358#1360#1362#1364#1366#1368#1370#1372#1374#1376#1378#1380#1382#1384#1386#1388#1390#1392#1394#1396#1398#1400#1402#1404#1406#1408#1410#1412#1414#1416#1418#1420#1422#1424#1426#1428#1430#1432#1434#1436#1438#1440#1442#1444#1446#1448#1450#1452#1454#1456#1458#1460#1462#1464#1466#1468#1470#1472#1474#1476#1478#1480#1482#1484#1486#1488#1490#1492#1494#1496#1498#1500#1502#1504#1506#1508#1510#1512#1514#1516#1518#1520#1522#1524#1526#1528#1530#1532#1534#1536#1538#1540#1542#1544#1546#1548#1550#1552#1554#1556#1558#1560#1562#1564#1566#1568#1570#1572#1574#1576#1578#1580#1582#1584#1586#1588#1590#1592#1594#1596#1598#1600#1602#1604#1606#1608#1610#1612#1614#1616#1618#1620#1622#1624#1626#1628#1630#1632#1634#1636#1638#1640#1642#1644#1646#1648#1650#1652#1654#1656#1658#1660#1662#1664#1666#1668#1670#1672#1674#1676#1678#1680#1682#1684#1686#1688#1690#1692#1694#1696#1698#1700#1702#1704#1706#1708#1710#1712#1714#1716#1718#1720#1722#1724#1726#1728#1730#1732#1734#1736#1738#1740#1742#1744#1746#1748#1750#1752#1754#1756#1758#1760#1762#1764#1766#1768#1770#1772#1774#1776#1778#1780#1782#1784#1786#1788#1790#1792#1794#1796#1798#1800#1802#1804#1806#1808#1810#1812#1814#1816#1818#1820#1822#1824#1826#1828#1830#1832#1834#1836#1838#1840#1842#1844#1846#1848#1850#1852#1854#1856#1858#1860#1862#1864#1866#1868#1870#1872#1874#1876#1878#1880#1882#1884#1886#1888#1890#1892#1894#1896#1898#1900#1902#1904#1906#1908#1910#1912#1914#1916#1918#1920#1922#1924#1926#1928#1930#1932#1934#1936#1938#1940#1942#1944#1946#1948#1950#1952#1954#1956#1958#1960#1962#1964#1966#1968#1970#1972#1974#1976#1978#1980#1982#1984#1986#1988#1990#1992#1994#1996#1998#2000#2002#2004#2006#2008#2010#2012#2014#2016#2018#2020#2022#2024#2026#2028#2030#2032#2034#2036#2038#2040#2042#2044#2046#2048#2050#2052#2054#2056#2058#2060#2062#2064#2066#2068#2070#2072#2074#2076#2078#2080#2082#2084#2086#2088#2090#2092#2094#2096#2098#2100#2102#2104#2106#2108#2110#2112#2114#2116#2118#2120#2122#2124#2126#2128#2130#2132#2134#2136#2138#2140#2142#2144#2146#2148#2150#2152#2154#2156#2158#2160#2162#2164#2166#2168#2170#2172#2174#2176#2178#2180#2182#2184#2186#2188#2190#2192#2194#2196#2198#2200#2202#2204#2206#2208#2210#2212#2214#2216#2218#2220#22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22#4224#4226#4228#4230#4232#4234#4236#4238#4240#4242#4244#4246#4248#4250#4252#4254#4256#4258#4260#4262#4264#4266#4268#4270#4272#4274#4276#4278#4280#4282#4284#4286#4288#4290#4292#4294#4296#4298#4300#4302#4304#4306#4308#4310#4312#4314#4316#4318#4320#4322#4324#4326#4328#4330#4332#4334#4336#4338#4340#4342#4344#4346#4348#4350#4352#4354#4356#4358#4360#4362#4364#4366#4368#4370#4372#4374#4376#4378#4380#4382#4384#4386#4388#4390#4392#4394#4396#4398#4400#4402#4404#4406#4408#4410#4412#4414#4416#4418#4420#4422#4424#4426#4428#4430#4432#4434#4436#4438#4440#4442#4444#4446#4448#4450#4452#4454#4456#4458#4460#4462#4464#4466#4468#4470#4472#4474#4476#4478#4480#4482#4484#4486#4488#4490#4492#4494#4496#4498#4500#4502#4504#4506#4508#4510#4512#4514#4516#4518#4520#4522#4524#4526#4528#4530#4532#4534#4536#4538#4540#4542#4544#4546#4548#4550#4552#4554#4556#4558#4560#4562#4564#4566#4568#4570#4572#4574#4576#4578#4580#4582#4584#4586#4588#4590#4592#4594#4596#4598#4600#4602#4604#4606#4608#4610#4612#4614#4616#4618#4620#4622#4624#4626#4628#4630#4632#4634#4636#4638#4640#4642#4644#4646#4648#4650#4652#4654#					

GENERAL NOTES:

- ALL NEW BREAKERS IN EXISTING PANELS SHALL MATCH EXISTING PANEL MANUFACTURER AND AMP RATINGS.
- ALL REMOVED BREAKERS TO BE GIVEN TO OWNER FOR ATTIC STOCK.
- UPDATE ALL PANELBOARD DIRECTORIES TO INDICATE REMOVED AND/OR REMOVED CIRCUITS, LABEL BRANCH BREAKERS AS "SPARE".

Branch Panel: B

Location: IT A105
Supply From: EXISTING MDP
Mounting: Surface
Enclosure: 1

Volts: 120/208 Vys
Phases: 3
Wires: 4

A.I.C. Rating: 10kA
Maine Type: MLO
Maine Rating: 225 A
MCB Rating: 225 A

Notes:
EXISTING WESTINGHOUSE NPH 36-4L PANEL TO REMAIN.

CKT	Circuit Description	Tripp	Poles	A (VA)	B (VA)	C (VA)	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	2
3	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	4
5	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	6
7	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	8
9	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	10
11	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	12
13	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	14
15	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	16
17	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	18
19	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	20
21	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	22
23	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	24
25	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	26
27	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	28
29	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	30
31	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	32
33	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	34
35	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	36
Total Load		0 VA		0 VA		0 VA				
Total Amps		0 A		0 A		0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
				Total Conn. Load: 0 VA
				Total Est. Demand: 0 VA
				Total Conn. Current: 0 A
				Total Est. Demand Current: 0 A

Notes:
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

Branch Panel: F

Location: BOILER ROOM A134
Supply From: EXISTING MDP
Mounting: Surface
Enclosure: 1

Volts: 120/208 Vys
Phases: 3
Wires: 4

A.I.C. Rating: 10kA
Maine Type: MCB
Maine Rating: 225 A
MCB Rating: 225 A

Notes:
EXISTING WESTINGHOUSE MDP PANEL TO REMAIN.
WITH 125A/2P SUB FEED BREAKER TO PANEL 'B'

CKT	Circuit Description	Tripp	Poles	A (VA)	B (VA)	C (VA)	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	2
3	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	4
5	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	6
7	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	8
9	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	10
11	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	12
13	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	14
15	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	16
17	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	18
19	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	20
21	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	22
23	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	24
25	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	26
27	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	28
29	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	30
31	Existing Circuit	15 A	1	0	0			1	15 A Existing Circuit	32
33	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	34
35	Existing Circuit	15 A	1		0	0		1	15 A Existing Circuit	36
Total Load		0 VA		0 VA		0 VA				
Total Amps		0 A		0 A		0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
				Total Conn. Load: 0 VA
				Total Est. Demand: 0 VA
				Total Conn. Current: 0 A
				Total Est. Demand Current: 0 A

Notes:
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

Branch Panel: 2L

Location: STORAGE A163
Supply From: MDP
Mounting: Surface
Enclosure: 1

Volts: 120/208 Vys
Phases: 3
Wires: 4

A.I.C. Rating: 10kA
Maine Type: MLO
Maine Rating: 225 A
MCB Rating: 225 A

Notes:
NEW SURFACE MOUNTED PANEL.

CKT	Circuit Description	Tripp	Poles	A	B	C	Poles	Tripp	Circuit Description	CKT
1	SPARE	20 A	1	0	0			1	20 A SPARE	2
3	SPARE	20 A	1		0	0		1	20 A SPARE	4
5	SPARE	20 A	1		0	0		1	20 A SPARE	6
7	DOAS-2 - Storage RA163	25 A	3	1524	750			1	20 A RPH-2 - Vestibule RA165	8
9		--	--	--	1524	1560		1	20 A RPH-3 - Corridor RA159	10
11		--	--	--	1524	1560		1	25 A FCU12 - Corridor RA158	12
13	FCU12 - Corridor RA158	15 A	1	860	1560			1	25 A FCU14 - Corridor RA158	14
15	FCU12 - Vestibule RA157	20 A	1		750	895		1	10 A FCU10 - Corridor RA158	16
17	FCU12 - Corridor RA158	20 A	1		865	895		1	10 A FCU11 - Corridor RA158	18
19	FCU12 - Corridor RA158	20 A	1		1000			1	20 A FCU13 - East Corridor RB159	20
21	FCU14 - Corridor RA158	25 A	1		1596	355		1	10 A FCU14 - East Corridor RB159	22
23	FCU12 - Corridor RA158	15 A	1		895	1560		1	20 A FCU17 - East Corridor RB159	24
25	Reception - Roof	20 A	1	640	895			1	10 A FCU18 - East Corridor RB159	26
27	Air Cooled Condensing Unit - On Roof	20 A	2		1423	1560		1	20 A FCU19 - East Corridor RB159	28
29		--	--	--	1423	895		1	10 A FCU19 - East Corridor RB159	30
31	Auto Lvs - RA160 & RA161	20 A	1	860	362			2	20 A Lighting - Exterior Area Lights	32
33	RPH-2 - Vestibule RA157	20 A	1		750	362			20 A Lighting - Exterior Area Lights	34
35	Assembly Room Antifog - Storage RA163	20 A	1		1000	254		1	20 A Lighting - Exterior Canopy & Building Mounted	36
37	Term. Control Panel - Storage RA162	20 A	1	250	0			1	20 A Lighting - Existing Recessed Lights on Roof	38
39	Reception - TV - Assembly RA162	20 A	1		720	0		1	20 A Lighting - Existing Lobby Sign Spot	40
41	Reception - TV - Planning Meeting Rooms RA169	20 A	1		360	100		1	20 A Time Clock - Storage RA163	42
43	Office	20 A	1	500	1500			1	20 A Communications Rack - IT RA150	44
45	Scholar LIT - MHP Purpose Room RA141	20 A	1		1000	1500		1	20 A Communications Rack - IT RA155	46
47	Reception - Reception MHP Purpose Room RA141	20 A	1		680	1500		1	20 A AV Rack - IT RA155	48
49	Quiet Reception - IT RA155	20 A	1	300	1500			1	20 A AV Rack - IT RA155	50
51	Quiet Reception - IT RA155	20 A	1		360	540		1	20 A Receptacle ASSEMBLY A162	52
53	Quiet Reception - IT RA155	20 A	1		360	540		1	20 A Receptacle ASSEMBLY A162	54
Total Load				11628 VA	11472 VA	14580 VA				
Total Amps				116 A	138 A	133 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
HVAC	4672 VA		4672 VA	Total Conn. Load: 43179 VA
Lighting	1031 VA	125.26%	1284 VA	Total Est. Demand: 14271 VA
Water	1920 VA	100.00%	1920 VA	Total Conn. Current: 123 A
Other	2360 VA	100.00%	2360 VA	Total Est. Demand Current: 123 A
Receptacle	5500 VA	100.00%	5500 VA	
Load	2865 VA	100.00%	2865 VA	
Heating	2290 VA	100.00%	2290 VA	
Misc.	5500 VA	100.00%	5500 VA	
Misc. New-Combustion	100 VA	0.01%	100 VA	

Notes:

Branch Panel: E

Location: STORAGE A163
Supply From: EXISTING MDP
Mounting: Surface
Enclosure: 1

Volts: 120/208 Vys
Phases: 3
Wires: 4

A.I.C. Rating: 10kA
Maine Type: MLO
Maine Rating: 225 A
MCB Rating: 225 A

Notes:
EXISTING CUTLER-HAMMER TYPE PR12A PANEL TO REMAIN.

CKT	Circuit Description	Tripp	Poles	A	B	C	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	2
3	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	4
5	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	6
7	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	8
9	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	10
11	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	12
13	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	14
15	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	16
17	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	18
19	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	20
21	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	22
23	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	24
25	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	26
27	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	28
29	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	30
31	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	32
33	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	34
35	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	36
37	Existing Circuit	20 A	1		0	0		1	20 A Existing Circuit	38
39	Existing Circuit	20 A	1	0	0			1	20 A Existing Circuit	40
41	SPARE	--	--	--	0 VA	0 VA		--	SPARE	42
Total Load				0 VA	0 VA	0 VA				
Total Amps				0 A	0 A	0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
				Total Conn. Load: 0 VA
				Total Est. Demand: 0 VA
				Total Conn. Current: 0 A
				Total Est. Demand Current: 0 A

Notes:
CIRCUITING LAYOUT BASED ON FIELD OBSERVED PANEL DIRECTORIES. CONTRACTOR TO FIELD VERIFY AVAILABILITY OF CIRCUITS AND NOTIFY ENGINEER OF MODIFICATIONS NEEDED.

Branch Panel: C

Location: STORAGE A137
Supply From: MDP
Mounting: Surface
Enclosure: 1

Volts: 120/208 Vys
Phases: 3
Wires: 4

A.I.C. Rating: 10kA
Maine Type: MLO
Maine Rating: 225 A
MCB Rating: 225 A

Notes:
EXISTING WESTINGHOUSE TYPE NPL 42-4L SURFACE MOUNTED PANEL TO REMAIN.

CKT	Circuit Description	Tripp	Poles	A	B	C	Poles	Tripp	Circuit Description	CKT
1	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	2
3	Existing Circuit	15A	1		0	0		1	15A Existing Circuit	4
5	Existing Circuit	15A	1			0	0	1	15A Existing Circuit	6
7	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	8
9	Existing Circuit	15A	1		0	0		1	15A Existing Circuit	10
11	Existing Circuit	15A	1			0	0	1	15A Existing Circuit	12
13	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	14
15	Existing Circuit	15A	1		0	0		1	15A Existing Circuit	16
17	Existing Circuit	15A	1			0	0	1	15A Existing Circuit	18
19	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	20
21	Existing Circuit	15A	1		0	0		1	15A Existing Circuit	22
23	Existing Circuit	15A	1			0	0	1	15A Existing Circuit	24
25	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	26
27	Existing Circuit	15A	1		0	0		1	15A Existing Circuit	28
29	Existing Circuit	15A	1			0	0	1	15A Existing Circuit	30
31	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	
33	Existing Circuit	15A	1		0				15A Existing Circuit	
35	Existing Circuit	15A	1			0	0	1	15A Existing Circuit	
37	Existing Circuit	15A	1	0	0			1	15A Existing Circuit	
39	Existing Circuit	15A	1		0	0		1	15A Existing Circuit	
41	Existing Circuit	20A	2				0	2	20A Existing Circuit	
43	--	--	--	0	0	0	0	--	--	



Change Order Request

COR#: 011

Project: GREENSBURG CITY HALL RENO
314 WEST WASHINGTON STREET
GREENSBURG, IN 47240

Job Number: 202022
Status: PROPOSED
Origination date: 03/25/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

Description

GC DELAYS FOR CEILING DEMO AND DESIGN DELAYS

SEE THE BELOW BREAKDOWN FOR THIS CHANGE ORDER REQUEST:

1.) CEILING DEMOLITION (02/25 - 03/12)

- TOOK 11 DAYS BUT WE PROMISED 10 DAYS WORST CASE IN MEETING ON 02/26/21. CPM WILL DEDUCT 1 DAY.

11 DAYS x \$737.40/DAY = \$8,111.40

1 DAY x \$737.40/DAY = (\$737.40)

SUM = \$7,374.00

2.) HVAC DESIGN DELAYS

- DELAYED 7 WORKING DAYS (03/12 - 03/23)

7 DAYS x \$737.40 = \$5,161.80

- CPM COULD HAVE TAKEN THE INITIATIVE TO ORDER ON 03/16 OR GIVEN THE OWNER THE CHOICE AND WE DID NOT SO WE ARE WILLING TO GIVE A DEDUCT BASED ON THE DAYS (03/17 - 03/23).

5 DAYS x \$737.40/DAY = (\$3,687)

SUM = \$1,474.80

Revised cost is \$7,374 for 10 days of delay.

~~TOTAL FOR CEILING DEMOLITION AND HVAC DESIGN DELAYS IS 12 WORKING DAYS AT A COST OF \$8848.40~~

TO GIVE THE CREDIT OF THE 5 DAYS, WE NEED APPROVAL OF THE SCHEDULE EXTENDING BY 26 CALENDAR DAYS THUS CHANGING THE CONTRACT SUBSTANTIAL COMPLETION DATE FROM 7/5/21 TO 7/31/21.

Schedule

Requested days delay: 26

Contractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
01-0110 SUPERINTENDENT	L DIRECT LABOR			2,949.60
COST FOR 12 WORKING DAYS OF SUPERINTENDENT GENERAL CONDITIONS				
01-0108 PROJECT MANAGER	L DIRECT LABOR			2,580.90
COST FOR 12 WORKING DAYS OF PROJECT MANAGER GENERAL CONDITIONS				
01-0106 PROJECT ENGINEER	L DIRECT LABOR			1,843.50
COST FOR 12 WORKING DAYS OF PROJECT ENGINEER GENERAL CONDITIONS				
Contractor Pricing Total:				7,374.00



Change Order Request COR#: 011

Project: GREENSBURG CITY HALL RENO
314 WEST WASHINGTON STREET
GREENSBURG, IN 47240

Job Number: 202022
Status: PROPOSED
Origination date: 03/25/21

Customer: GREENSBURG BRD OF PUBLIC WORKS

Total:	7,374.00
Mark-up:	0.00
Total Contractor Price for CR 011	7,374.00

Approvals

Approval of this Change Order Request constitutes a change to the Contract and authorizes CPM CONSTRUCTION PLANNING & to begin work on the attached and referenced scope of work, for the above cost.

Customer: GREENSBURG BRD OF PUBLIC WORKS

Contractor: CPM CONSTRUCTION PLANNING &

Authorized Representative: _____

By: _____

Date: _____

By: _____

Date: _____

Architect: DLZ Indiana, Inc. _____

Other: _____

By: _____

By: _____

Date: _____

Date: _____